


0.07 0 0.04 0.07 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere
© Latitude Geographics Group Ltd.

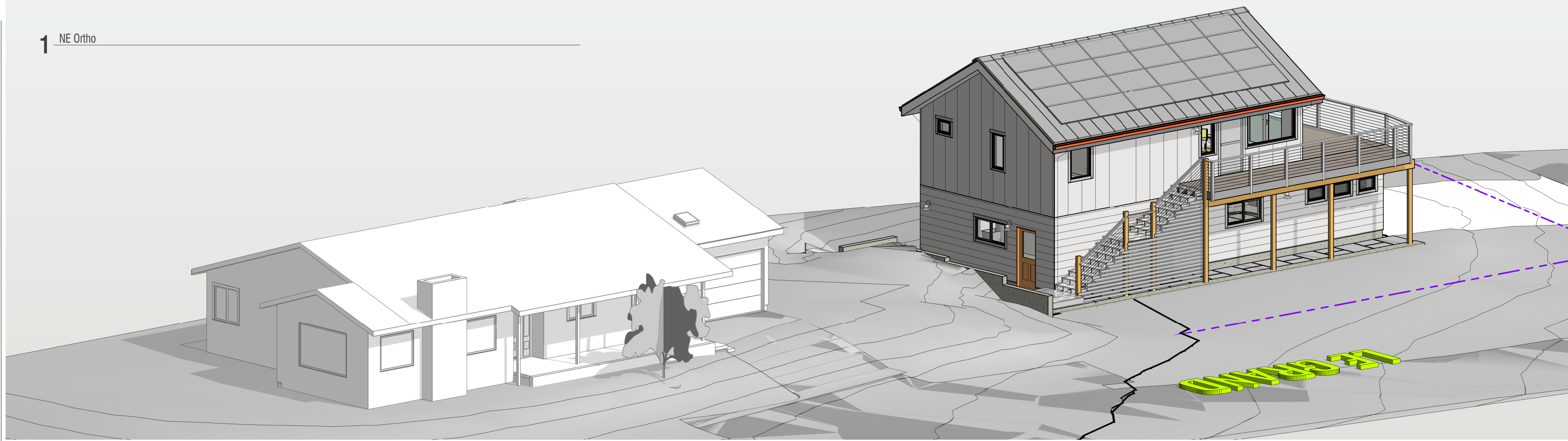
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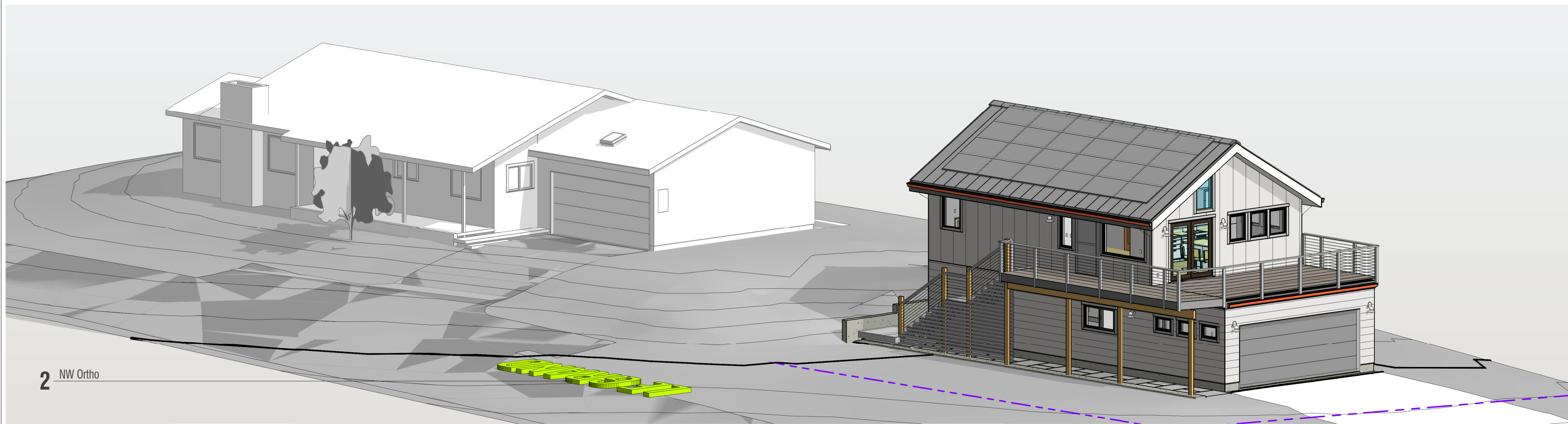
This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

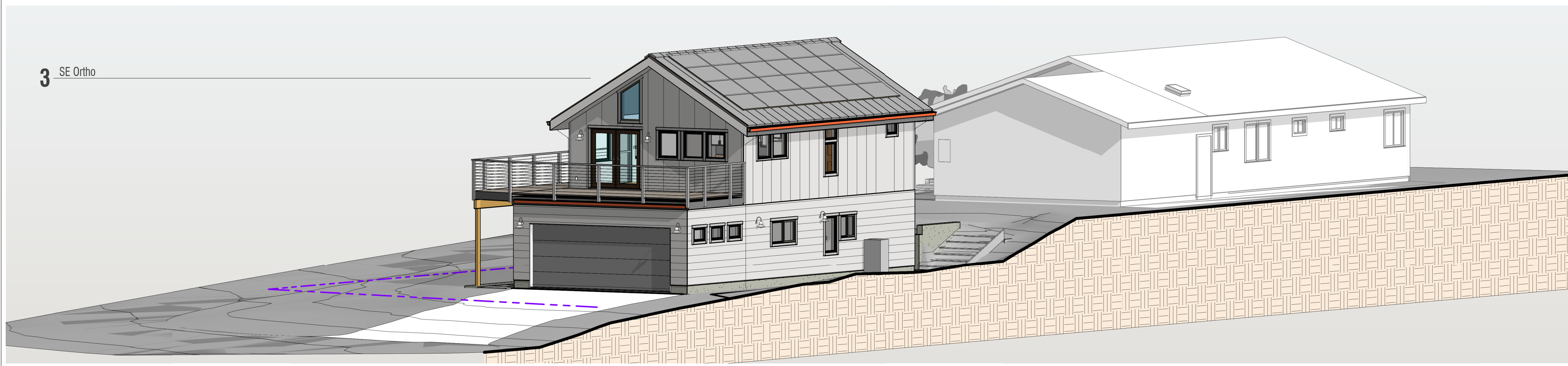
1 NE Ortho



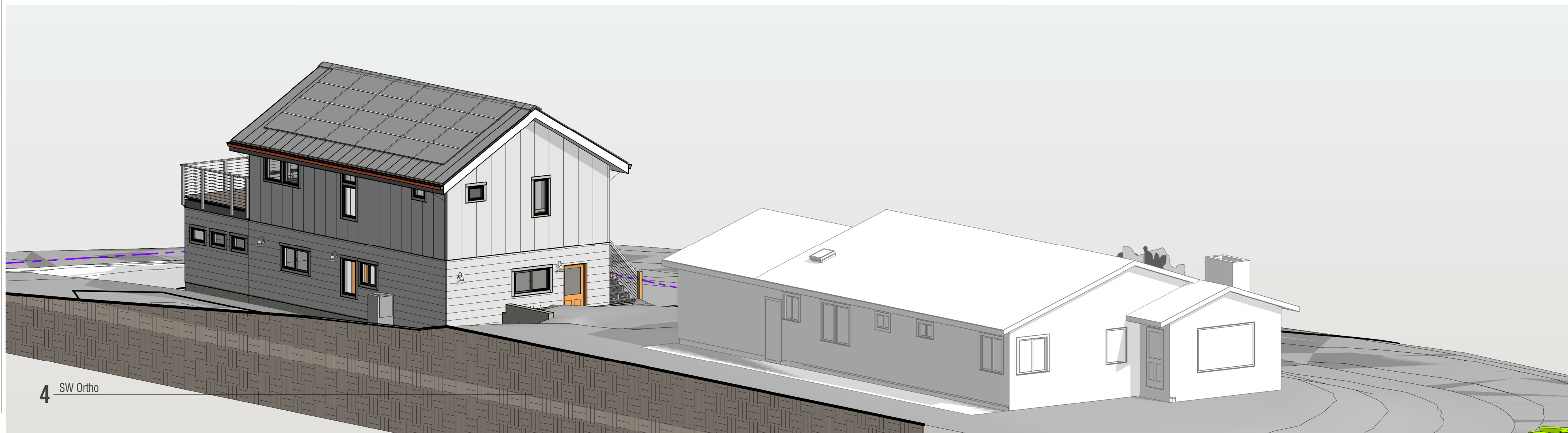
2 NW Ortho



3 SE Ortho



4 SW Ortho



dbt | design + build + thrive
+1.850.583.9725 ikhaya@yahoo.com P.O. Box 371114 Montara Ca 94037

the LAURITZEN Family
836 Park Ave
Moss Beach

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Designer
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po box 371114 montara ca 94037

Project Consultants

General Contractor Construction Contractor Name XXX XXX XXX construction@email.com Lic#	Structural Engineer KEMBON Engineering Eric Cox 650.343.8310 engineers@kembon.com Lic#
Geotechnical Engineer ATLAS Technical LLC Joe Baldwin/Dave Corey Ph 650.557.0262 Email: joe.baldwin@orattas.com Lic# 1132	Civil Engineer KEMBON Engineering Eric Cox 650.343.8310 engineers@kembon.com Lic#
Surveyor BGT Surveying Ph 650.212.1030 Email: info@bgtsurveying.com Lic# 7551	Energy Consultant Energy Calc. Co. 1.415.457.0990 jobs@energycalco.com Lic#
Electrical Contractor Co. Name Contractor Name Ph Email Lic#	Plumbing Contractor Co. Name Contractor Name Ph Email Lic#
Mechanical Contractor Co. Name Contractor Name Ph Email Lic#	Solar Contractor LAIBACH SOLAR Dan Laibach Company Address Email: dclan@laibachsolar.com Ph: 1.530.388.5536 Lic. #: 1001369 C46/C10/B

Review Phase
1 Geotech
25JUN23

836PRK-0421-B
20.04.21

836 park ave. Project OUTLAW GARAGE+ADU

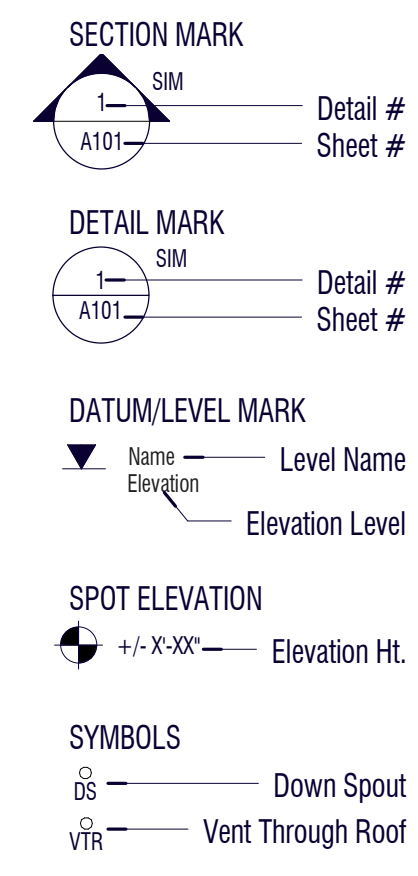
7/16/2023 10:52:06 AM
C:\Users\DB\Desktop\2023\836 Park Ave ADU\Lauren\Renderings\Ortho\Ortho-NE.dwg

GENERAL NOTES

- These Construction Documents are the Designers interpretation of the Project based on the existing and current Conditions of the Project. It is the Sole responsibility of the General Contractor to verify and validate all conditions set in the Construction Documents and notify the Designer of any discrepancies.
- Before submitting a proposal for this work, the Bidder shall visit the site and familiarize themselves with the existing conditions. Any questions regarding the Project or Construction Documents should be brought up at this point and the appropriate parties addressed.
- During construction, no changes from plans and specifications shall be made without written consent of the Designer and Owner. Any Structural changes must be approved by the Structural Engineer and the Designer.
- The Owner may order extra work or make changes by altering, adding to, or deducting from the Approved Construction Documents. The Contract sum shall be adjusted accordingly and adequate records shall be kept by the Contractor to substantiate any additional charges. All such work shall be executed under the conditions of the Signed Proposal Agreement between the Owner and the Contractor.
- The intent of these Construction Documents is to provide a complete project. Any omissions in these Documents shall not be construed as relieving the Contractor of any such responsibilities implied by the Scope of Work unless specifically noted.
- All work defective in workmanship or quality or deficient in any requirements of the California Building Code (CBC) and/or the Construction Documents shall be unacceptable despite the Designers failure to discover or identify deficiencies, either existing or during the construction process. Defective work revealed within the period of Warranties or Guarantees shall be replaced by work conforming with intent of the Construction Documents. No payment, either partial or final shall be construed as an acceptance of defective work or materials.
- The intention of these Construction Documents is for the Contractor to provide a complete job and any omissions in these Documents, Notes or Specifications, or in the Scope of Work shall not be construed as relieving the contractor of such responsibilities implied by Scope of Work, except for items specifically noted.
- The Contractor is to verify all existing conditions, discrepancies and conflicts of conditions related to construction compared to the information provided within the Construction Documents. If discrepancies or conflicts between the two are discovered, it is the responsibility of the Contractor to notify the Designer for clarification prior to submitting a bid and/or performing work on the Project.
- The Contractor and Sub-Contractors shall verify the framing system as indicated within the Construction Documents with respect to the installation of all Electrical wiring, Plumbing & HVAC. Waste sewer pipes, gas, vent pipes and lines in support of all plumbing and HVAC fixtures per relevant codes. The Contractor shall take adequate measures including location and installation plumbing lines prior to framing in order to insure Electrical, Plumbing and HVAC lines can be installed without conflict with the framing system as shown in the Construction Documents. The Contractor shall notify the Designer and Structural Engineer of any discrepancies between the Electrical, Plumbing & HVAC systems and framing system prior to performing work or ordering materials.
- Execute work in accordance with any and all applicable Federal, State, Local Codes and Ordinances, Manufacturer's Installation Instructions and recommendations, trade and reference Standards.
- GC to Coordinate and schedule all work with the Owner prior to execution of work.
- GC to Coordinate work with all required Utility Companies.
- GC to Coordinate work with any and all ADA requirements and ADA Specialists as required.
- Coordinate all trades prior to performing work including but not limited to mechanical, plumbing and electrical.
- GC to Other work may be performed under a separate contract at the client's property.
- GC to Coordinate with all other contracted trades so as to not interfere with their work.
- Contractor shall be responsible for all permits, fees, and inspections associated with their work.
- Safety of field personnel, crews and sub-contractors during construction period is the responsibility of the Contractor. It is the responsibility of the Contractor to notify the Owner if any of the recommended actions contained in the Construction Documents are deemed unsafe.
- Provide all required erosion control devices, construction barricades and protective coverings not limited to walls, floors, cabinetry and other fixtures, appliances and systems during construction.
- Schedule and coordinate all shut downs of existing utilities with the owner in advance of a minimum of seven (7) days prior to shut down. Prepare all necessary work prior to shutdowns. If at all possible, combine utility shut downs to minimize the impact of the owner's operation of existing facilities.
- Determine the location of all underground utilities. Contact the Owner, City, Governmental and/or private utility companies, which may have facilities located within the limits of the proposed improvements, to aid in the location of utilities. Provide the Owner at least two (2) working days notice prior to commencement of construction activities.
- All work that is to take place while the building is occupied, is to be kept isolated, safe and secure from non-construction personnel. Any barriers or signs required to isolate the Construction Zone will be the responsibility of the Contractor.
- Contractor to maintain Access and Egress to currently occupied units at all times.
- Contractor to maintain the premises in a clean and orderly manner such as to maintain clear access at all times.
- Contractor to ensure sub-Contractors and workers respect and adhere to the City Work hours as stipulated by the City Building Department.
- Prior to Project completion, Clear and remove all accumulated debris from in and around structures and sweep clean. Sweep in structures and surrounding area two (2) times with magnets to pick up any and all loose metal debris not limited to nails, bolts, nuts, screws, wire, etc.
- Locate all materials, equipment, trucks, dumpsters and construction facilities in areas approved by owner. Special care shall be taken to prevent damage to existing building structure, landscaping and paved areas. Provide wood plank protection below all dumpsters and any other heavy equipment.
- Store materials in a manner not to over-stress, overload, or otherwise put an inappropriate load on any structure/s during construction.
- Protect or safely store all building and site elements that are to remain or be reused to avoid damage during the construction process, damaged items shall be repaired or replaced at no expense to the owner.
- Repair all areas damaged resultant of the construction work. Patch and provide new finishes at all damaged areas with materials and finishes to match the remodeled existing conditions. New materials and finishes shall be furred, feathered and finished accordingly so as to minimize detection of repair, verify locations with Designer.
- All materials shall be new, unused, and of the highest quality in every respect unless noted otherwise. Manufactured materials and equipment shall be installed as per Manufacturer's Recommendations and Instructions.
- Strictly follow all Manufacturer's written instructions and recommendations when using or installing respective products.
- There shall be no substitution of materials where a manufacturer is specified. Where the term "approved equal" or "approved substitute" is used, the Designer or Structural Engineer shall determine equality based upon information submitted by the Contractor.
- All new work to be plumb, level and square unless otherwise noted.
- All openings to be sealed and air-tight.
- All wood in contact with ground, concrete or masonry and/ or subject to exposure, water or dampness shall be Preservative Treated and rot resistant.
- Provide sealant between dissimilar materials to isolate from one another as required. Isolate dissimilar metals in contact with each other.
- All paint and stain colors to be selected and/ or approved by the Owner.
- Do not scale the drawings: dimensions shall govern. Details shall govern over plans and elevations. Large scale details shall govern over small scale. Written specifications shall govern over drawings. In the event of a conflict, please notify the Designer.
- All plan dimensions are shown and indicated with reference to a nominal width.
- All Grid-Lines are to Centre-Line of Stud or Plate and are NOT to Centre-Line of total Wall or Plate assembly.
- Interior dimensions are from finish to finish unless noted otherwise. Exterior dimensions are to outside face of stud or masonry.
- Dimension noted 'Clear', 'Min. Clr.' or 'Clr.' shall be accurately maintained. Dimensions marked (+/-) indicate tolerance provided not greater or less than 1/2" from indicated dimension. Verify field dimensions exceeding tolerance with the Designers.
- All Window and door opening dimensions indicate unit size. It is the Contractors' responsibility to verify all Window and Door openings & existing field conditions prior to ordering and fabrication of units.
- Most details are typical and are not to be construed as limited to those areas specifically indicated. If in question, verify application with Designer prior to submitting a bid and/or performing work.
- When Alterations, Additions, or Repairs requiring a Permit, the individual dwelling unit shall be equipped with Smoke and Carbon Monoxide alarms required for new dwelling per CRC R314.2.2
- Per California Civil Code Article 1101.1 and CALGREEN Section 301.1 for all building alterations or improvements to a single family residential property, existing plumbing fixtures in the entire residence that do not meet the current Flow Rate will require upgrading.
 - Water Closets Max. Flow Rate = 1.28GPF
 - Shower Heads Max. Flow Rate = 1.8GPM
 - Lavatory & Kitchen Faucets Max Flow Rate = 1.2GPM (1.8GPM for Kitchen Faucets)

SYMBOL LEGEND

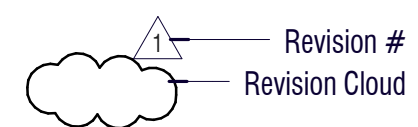
Elevation Tags



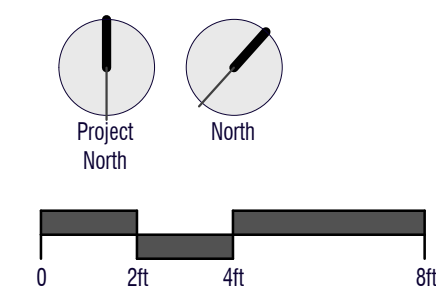
Door & Window Tags



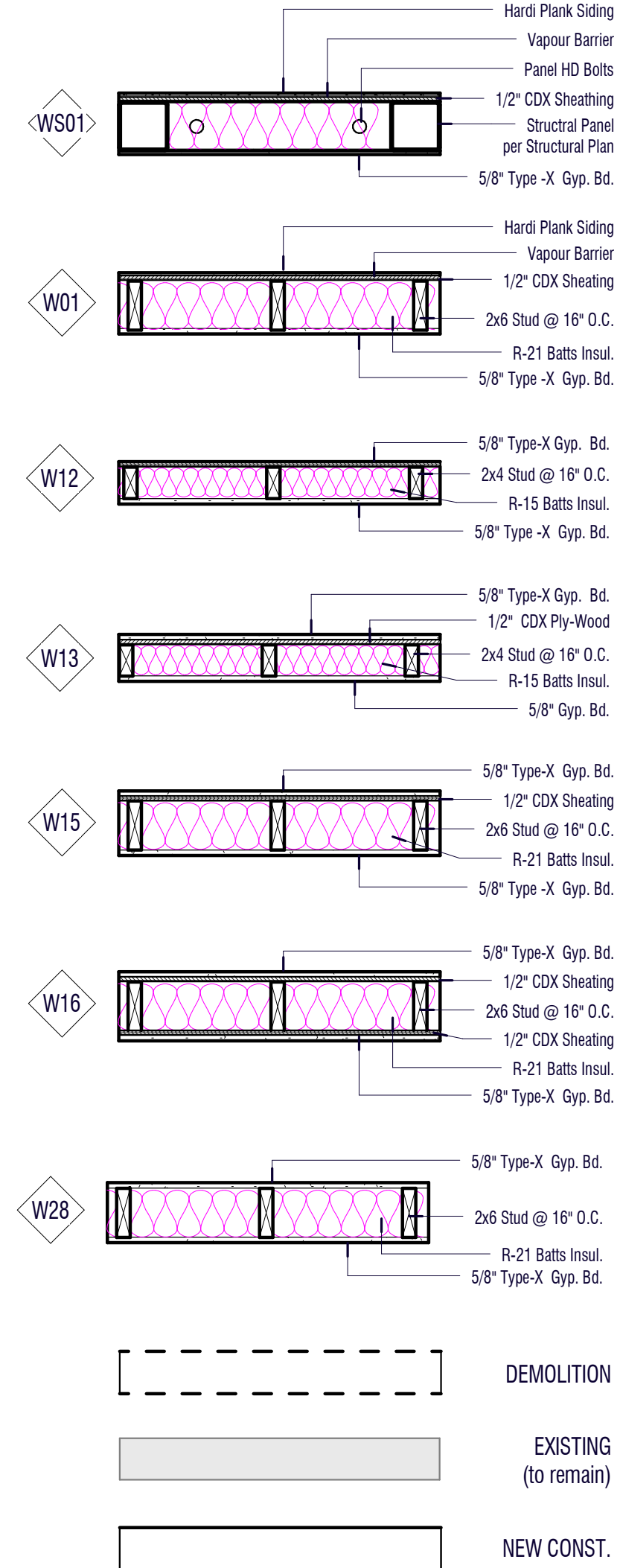
Revision Tags



North & Scale Indicators



WALL LEGEND



ABBREVIATIONS

A.B. Anchor Bolt	GWB Gypsum Wall Board
A/C Air Condition/ing/er	H.B. Hose Bib
ABV. Above	HDR Header
ADA American Disabilities Act	H.D. Hold-Down
ADDN Addition	H.H. Head Height or Heel Height
ADJ Adjacent	HT. Height
A.F.F. Above Finished Floor	HVAC Heating Ventilation Air Conditioning
AGG Aggregate	INSUL. Insulation/ate/ed
ALT. Alternative	JST. Joist
AVG. Average	LVL. Laminated Veneer Lumber
B.F. Balloon Frame	MIN. Minimum
BLK. Block/ing	N.T.S. Not to Scale
BM Bench Mark	O.C. On Centre
BD. Board	O.S.B. Oriented Strand Board
BYND. Beyond	O.T.S. Owner To Specify
BRG. Bearing	PL. Plot Line
BTR. Better	PLM. Plumbing
BTWN. Between	P.T. Pressure/Preservative Treated
BWL. Braced Wall Line	PRTN. Partition
CL. Centre Line	PSL. Parallel Strand Lumber
COL. Column	R.O. Rough Open
CONC. Concrete	R.O.W. Right Of Way
CONT. Continuous	RSL. Rough Sawn Lumber
CMU. Concrete Masonry Unit	RYSB. Rear Yard Set-Back
CTR. Centre	SIM. Similar
DTM. Datum	STRUCT. Structure/Structural
DEMO. Demolish	STL. Steel
DIA. Diameter	SYSB. Side Yard Set-Back
D.F. Doug Fir	T.O. Top Of
DS. Down Spout	T.P. Top Plate
D.W.V. Drain Waste Valve	TYP. Typical
EXT. Exterior	TV. Television
EQ. Equals	U.O.N. Unless Otherwise Noted
FD. Floor Drain	VTR. Vent Through Roof
FDN. Foundation	WD. Wood
F.O.C. Face of Concrete	WDW. Window
F.O.F. Face of Finish	
F.O.S. Face of Stud/Framing	
FTG. Footing	
F.V. Field Verify	
FYSB. Front Yard Set-Back	

DRAWING INDEX

Sheet Allocation	Sheet No.	Sheet Name
	A00	COVER SHEET
	A01	GENERAL TITLE
Site	AS100	SITE PLAN
Site	SU-01	TOPOGRAPHICAL SURVEY
Site	C1.0	DRIVEWAY PROFILES
Site	C2.0	Grading Plan Improvements & Erosion Control Measures
Site	C3.0	Grading Plan Improvements & Erosion Control Measures (Cont.)
Site	C4.0	DETAILS
Site	BMP	CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs)
Garage+ADU	A101	GARAGE FLOOR PLAN
Garage+ADU	A102	FLOOR PLAN
Garage+ADU	A103	ROOF PLAN
Garage+ADU	A201	ELEVATIONS
Garage+ADU	A202	ELEVATIONS
Garage+ADU	A301	WALL SECTIONS @ LIFT SHAFTWAY
Garage+ADU	A302	BUILDING SECTIONS
Garage+ADU	A401	INTERIOR ELEVATIONS
Garage+ADU	A402	INTERIOR ELEVATIONS
Garage+ADU	A501	ARCHITECTURAL DETAILS
Garage+ADU	A502	ARCHITECTURAL DETAILS
Garage+ADU	A601	SCHEDULES
Garage+ADU	E101	ELECTRICAL PLAN
Garage+ADU	PH-01	ADU HYDRONIC LAYOUT
Garage+ADU	S0	STRUCTURAL NOTES
Garage+ADU	S10	RETAINING WALL DETAILS
Garage+ADU	S1.0	FOUNDATION PLAN
Garage+ADU	S2.0	GARAGE LEVEL WALL PLAN
Garage+ADU	S3.0	2nd FLOOR FRAMING PLAN
Garage+ADU	S4.0	2nd FLOOR WALL PLAN
Garage+ADU	S5.0	2nd FLOOR CEILING & FRAMING PLAN
Garage+ADU	S6.0	ROOF FRAMING PLAN & WALLS BELOW
Garage+ADU	S7.0	CONCRETE DETAILS
Garage+ADU	S8.0	WOOD DETAILS
Garage+ADU	S8.1	WOOD DETAILS
Garage+ADU	S9.0	STEEL DETAILS
Garage+ADU	T24	TITLE 24 ENERGY CALC.
Solar Plans	T-01	COVER SHEET
Solar Plans	S-01	MOUNTING DETAIL
Solar Plans	S-02	STRUCTURAL DETAIL
Solar Plans	E-01	SINGLE LINE DETAIL
Solar Plans	E-02	WIRE CALCULATIONS
Solar Plans	PL-01	WARNING PLACARDS
Solar Plans	SS-01	MODULE SPECIFICATIONS
Solar Plans	SS-02	INVERTER SPECIFICATIONS
Solar Plans	SS-03	MPLD DEVICE SPECIFICATIONS
Solar Plans	SS-04	MOUNTING SPECIFICATIONS
Solar Plans	SS-05	RAIL SPECIFICATIONS

APPLICABLE CODES

- COUNTY OF SAN MATEO BUILDING AND ZONING ORDINANCES
- 2019 CALIFORNIA RESIDENTIAL CODE
- 2019 CALIFORNIA BUILDING CODE
- 2019 BUILDING CODES AND AMENDMENTS
- 2019 CAL GREEN STANDARDS
- 2019 MECHANICAL CODE
- 2019 PLUMBING CODE
- 2019 ELECTRICAL CODE
- 2019 CALIFORNIA FIRE CODE

CALIFORNIA GREEN ENERGY CODE

Div. 4.3 - WATER EFFICIENCY and CONSERVATION

Water conserving plumbing fixtures and fittings
Plumbing fixtures and fittings shall comply with the following:

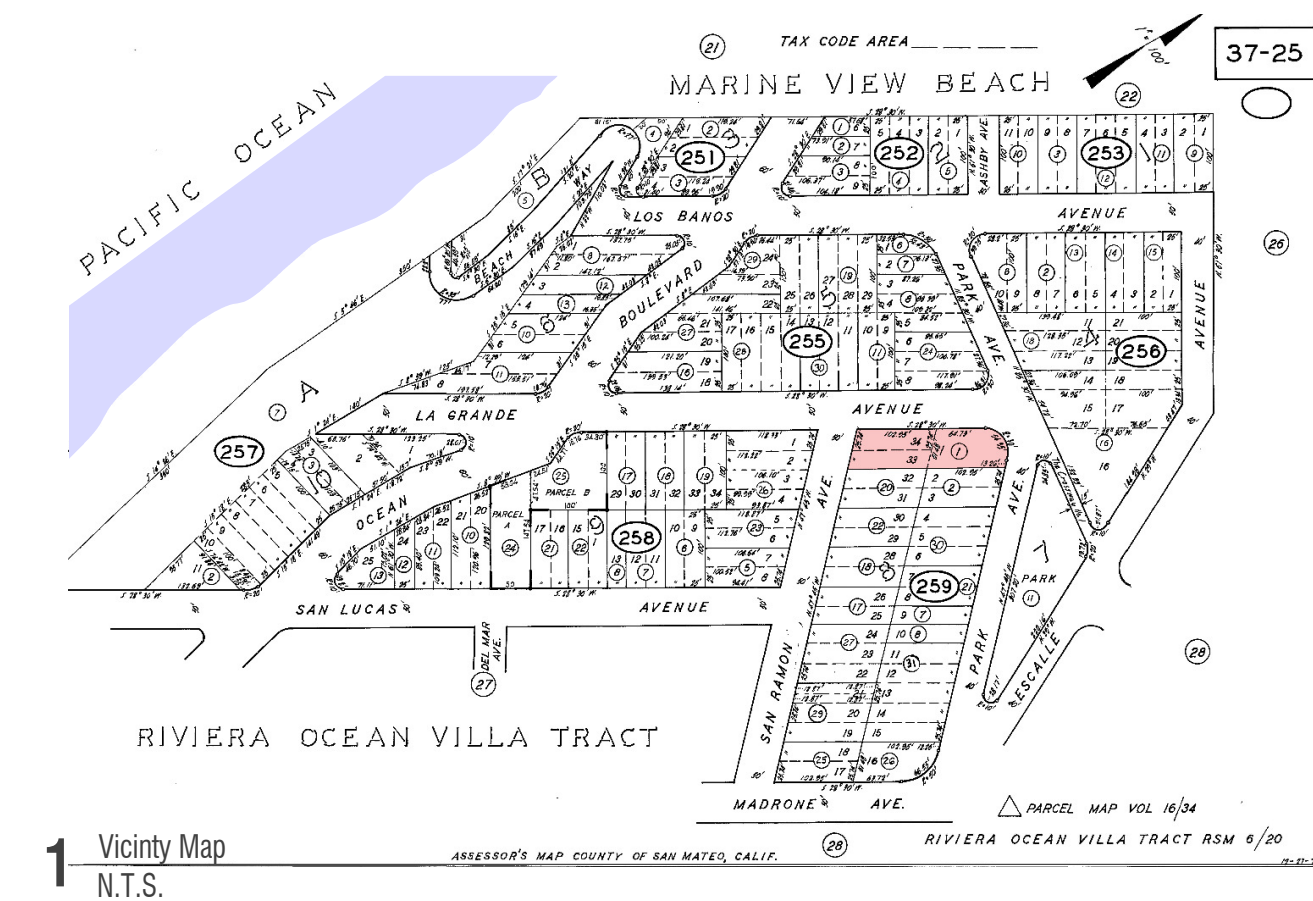
- 4.303.1.1 - Water closets: ≤ 1.28 gal/flush.
- 4.303.1.2 - Wall mounted urinals: ≤ 0.125 gal/flush; all other urinals ≤ 0.5 gal/flush.
- 4.303.1.3.1 - Single showerheads: ≤ 1.8 gpm @ 80 psi.
- 4.303.1.3.2 - Multiple showerheads: combined flow rate of all showerheads controlled by a single valve shall not exceed 1.8 gpm @ 80 psi, or only 1 shower outlet is to be in operation at a time.
- 4.303.1.4.1 - Residential lavatory faucets: maximum flow rate ≤ 1.2 gpm @ 60 psi; minimum flow rate ≥ 0.8 gpm @ 20 psi.
- 4.303.1.4.2 - Lavatory faucets in common and public use areas of residential buildings: ≤ 0.5 gpm @ 60 psi.
- 4.303.1.4.3 - Metering faucets: ≤ 0.2 gallons per cycle.
- 4.303.1.4.4 - Kitchen faucets: ≤ 1.8 gpm @ 60 psi; temporary increase to 2.2 gpm allowed but shall default to 1.8 gpm.
- 4.303.2 Standards for plumbing fixtures and fittings/Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet applicable standards referenced in Table 1701.1 of the California Plumbing Code.

PROJECT DATA

APN:	037.259.010
ZONING:	R1/S17/DR/CD
CLIMATE ZONE:	3
CONSTRUCTION TYPE:	V-B
OCCUPANCY:	R-3

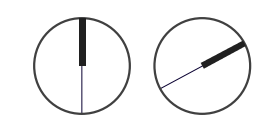
PROJECT SCOPE

Add New replacement parking detached 1072sf Garage.
Add Proposed 800sf ADU over new Garage.
Site has no Heritage or significant trees. No impact to existing landscaping.



the LAURITZEN Family
836 park ave.
Project OUTLAW
GARAGE + ADU

836 Park Ave
Moss Beach



GENERAL TITLE

Review Phase

C	Remove JADU	05APR23
B	For Comment	22SEP22
A	For Review	17MAY22
No.	REVISION	DATE

Building ID:

Sheet No.:

A01

Project Number: 836PRK-0421-B
Date: 20.04.21

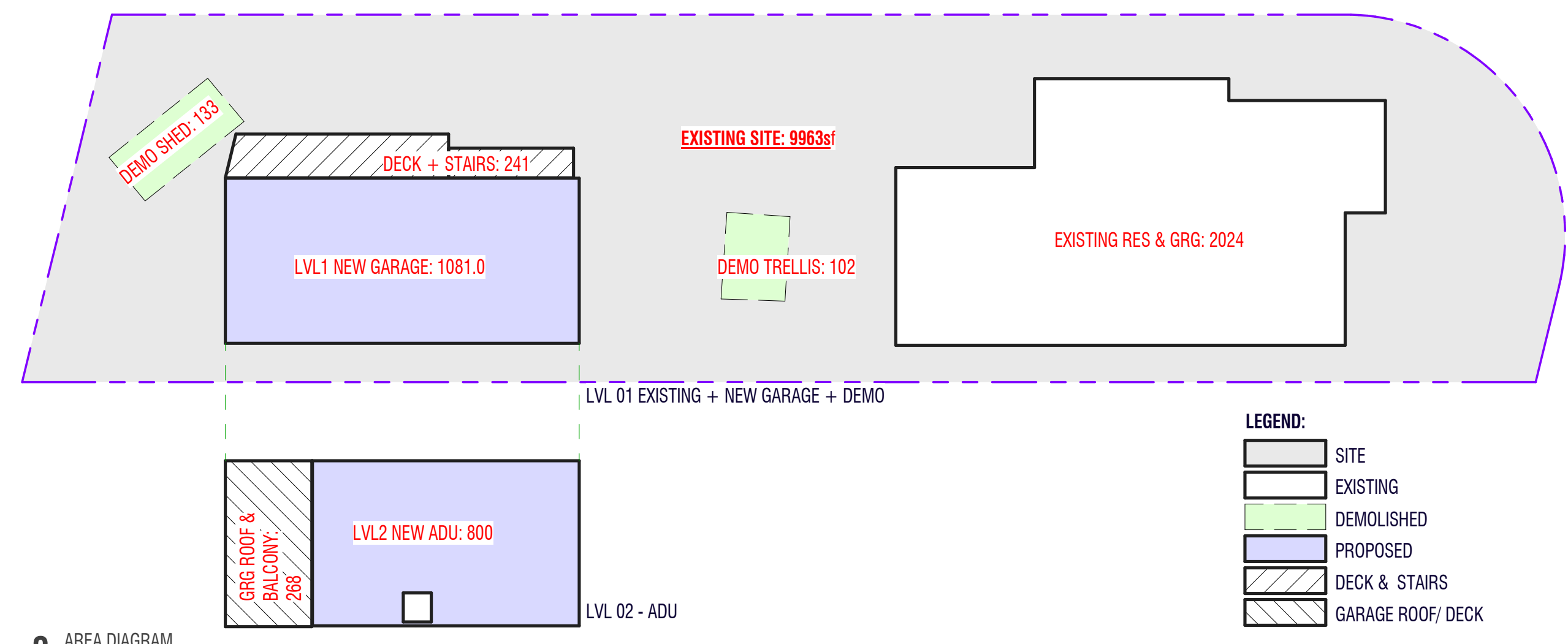
the LAURITZEN Family
 836 park ave.
 Project OUTLAW
 GARAGE + ADU
 836 Park Ave
 Moss Beach

GRADING CUT-FILL			
Name	Cut Cu. Yds.	Fill Cu. Yds.	Net Cut/Fill Cu. Yds.
Building Pad	128.73	16.80	-111.93
EXISTING	0.00	0.00	0.00

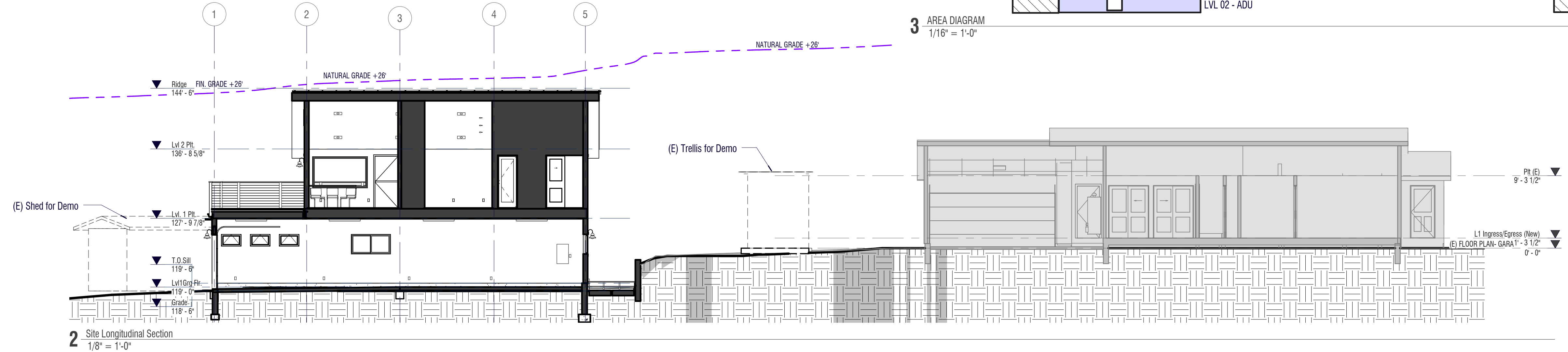
* Cut/Fill quantities are approx. to be used as reference only.

IMPERVIOUS AREA		
Name	Area	Comments
(E) Driveway	338 SF	Existing Driveway
(E) Walk-Way	222 SF	Existing Walk-Way
TTL Impervious SF:	561 SF	

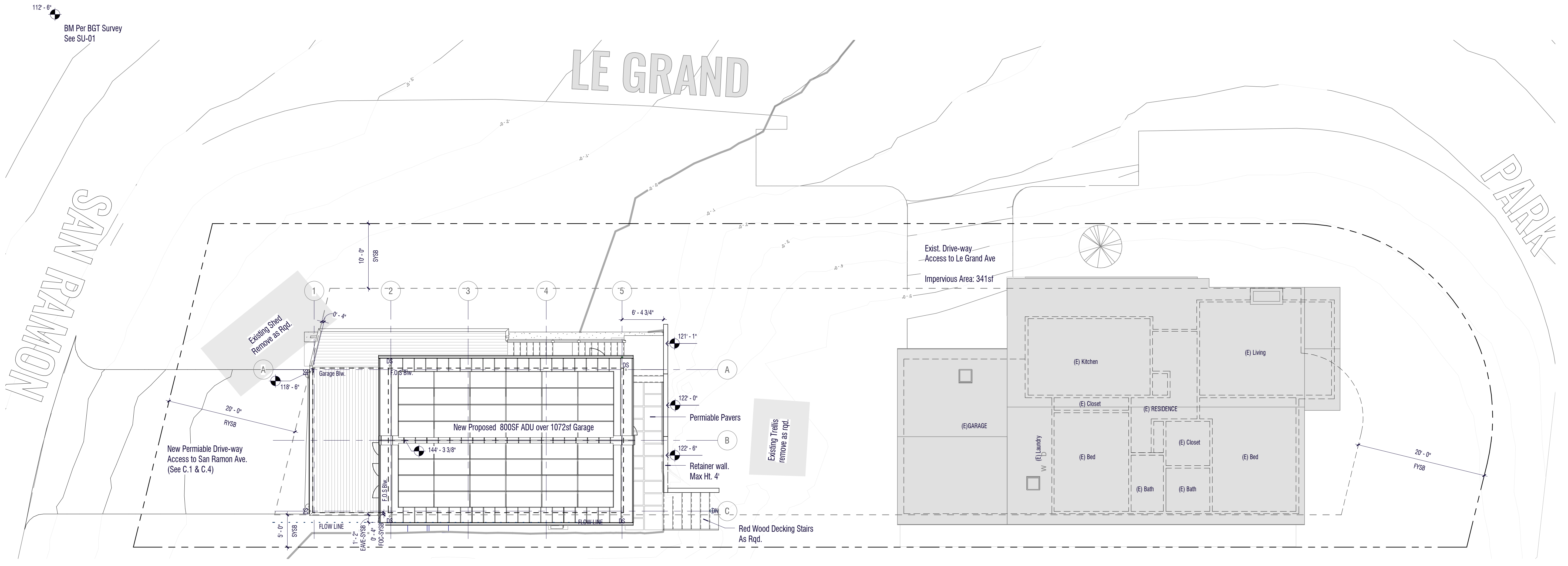
LC & FAR AREA CALCULATIONS					
Building Name	Area SF	LC SF	Total LC %	Total FAR %	Comments
Existing					
SITE AREA	9962.6 SF	0.0 SF	0.0%	0.0%	APN: 037.259.010
		0.0 SF	0.0%	0.0%	
Existing (E)					
(E) GARAGE	519.4 SF	519.4 SF	5.2%	5.2%	To Remain
(E) RESIDENCE	1504.2 SF	1,504.2 SF	15.1%	15.1%	To Remain
(E) SHED	132.6 SF	132.6 SF	0.0%	0.0%	For Demo
(E) TRELLIS	101.5 SF	101.5 SF	0.0%	0.0%	For Demo
		2,257.7 SF	20.3%	20.3%	
Proposed (P)					
ADU	799.9 SF	0.0 SF	0.0%	8.0%	Ch22.5.1
ADU Stairs + Deck Area	241.4 SF	241.4 SF	2.4%	2.4%	Ingress/Egress
GARAGE	1081.0 SF	1,081.0 SF	10.8%	10.8%	Ch22.5.1 6439.5.13a 1&2
Roof/ Deck	268.3 SF	0.0 SF	0.0%	2.7%	Garage Roof
		1,322.4 SF	13.3%	24.0%	
TOTALS:		3,580.1 SF	33.6%	44.3%	



3 AREA DIAGRAM
 1/16" = 1'-0"



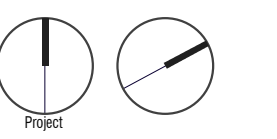
2 Site Longitudinal Section
 1/8" = 1'-0"



1 SITE PLAN
 1/8" = 1'-0"

SITE PLAN NOTES
 Topographical survey based on survey from BGT Surveying Inc. Dated APR2017. See sheet SU-01 for further information.

Datum Grade +6'-0" abv. BGT Topographical Survey Datum



SITE PLAN

Review Phase

C	Remove JADU	05APR23
B	For Comment	22SEP22
A	For Review	17MAY22
No.:	REVISION	DATE

Building ID: _____ Site

Sheet No.: **AS100**

Project Number: 836PRK-0421-B
 Date: 20.04.21

THESE PLANS AND DRAWINGS REFLECT THE DESIGNERS INTERPRETATION OF THE OF ALL CONCEPTS, IDEAS, DIMENSIONS AND CONDITIONS REQUIRED FOR THE PROJECT. IT IS THE RESPONSIBILITY OF THE OWNER, CONTRACTORS, TRADESMEN TO VERIFY ALL EXISTING AND FORESEEABLE CONDITIONS, DIMENSIONS AND SHALL REPORT ANY IRREGULARITIES TO THE DESIGNER BEFORE PROCEEDING WITH ANY WORK. THESE PLANS REMAIN PROPERTY OF THE DESIGNER AND MAY NOT BE REPRODUCED, COPIED OR TRANSMITTED IN ANY WAY WITHOUT THE PRIOR WRITTEN CONSENT OF THE DESIGNER.

BASIS OF BEARINGS

BEARINGS SHOWN HEREON TAKEN FROM THE RECORD OF SURVEY BY BGT WHICH WAS FILED FOR RECORD IN VOLUME 34 OF LLS MAPS PAGE 98 ON MARCH 5, 2010, SAN MATEO COUNTY RECORDS.

BENCHMARK

ELEVATIONS SHOWN HEREON ARE BASED UPON NAVD 88 DATUM BASED UPON A GPS SURVEY WHICH TIED INTO THE LEICA SMARTNET NETWORK OF CONTROL. LOCAL BENCHMARK IS THE BRIDGE SPIKE WITH STAINLESS STEEL WASHER WITH AN ELEVATION OF 112.50 FEET.

NOTES:

BGT RELIED UPON A NORTH AMERICAN TITLE COMPANY PRELIMINARY TITLE REPORT, ORDER NO. 55910-55010429, AS TITLE REFERENCE. NO EASEMENTS WERE REFERENCED WITHIN SAID REPORT.

UTILITIES SHOWN HEREON TAKEN FROM VISUAL SURFACE EVIDENCE AND SHOULD BE CONSIDERED AS APPROXIMATE ONLY. ACTUAL LOCATIONS OF UTILITIES MAY VARY. TRUE LOCATION OF UTILITIES CAN ONLY BE OBTAINED BY EXPOSING THE UTILITY.

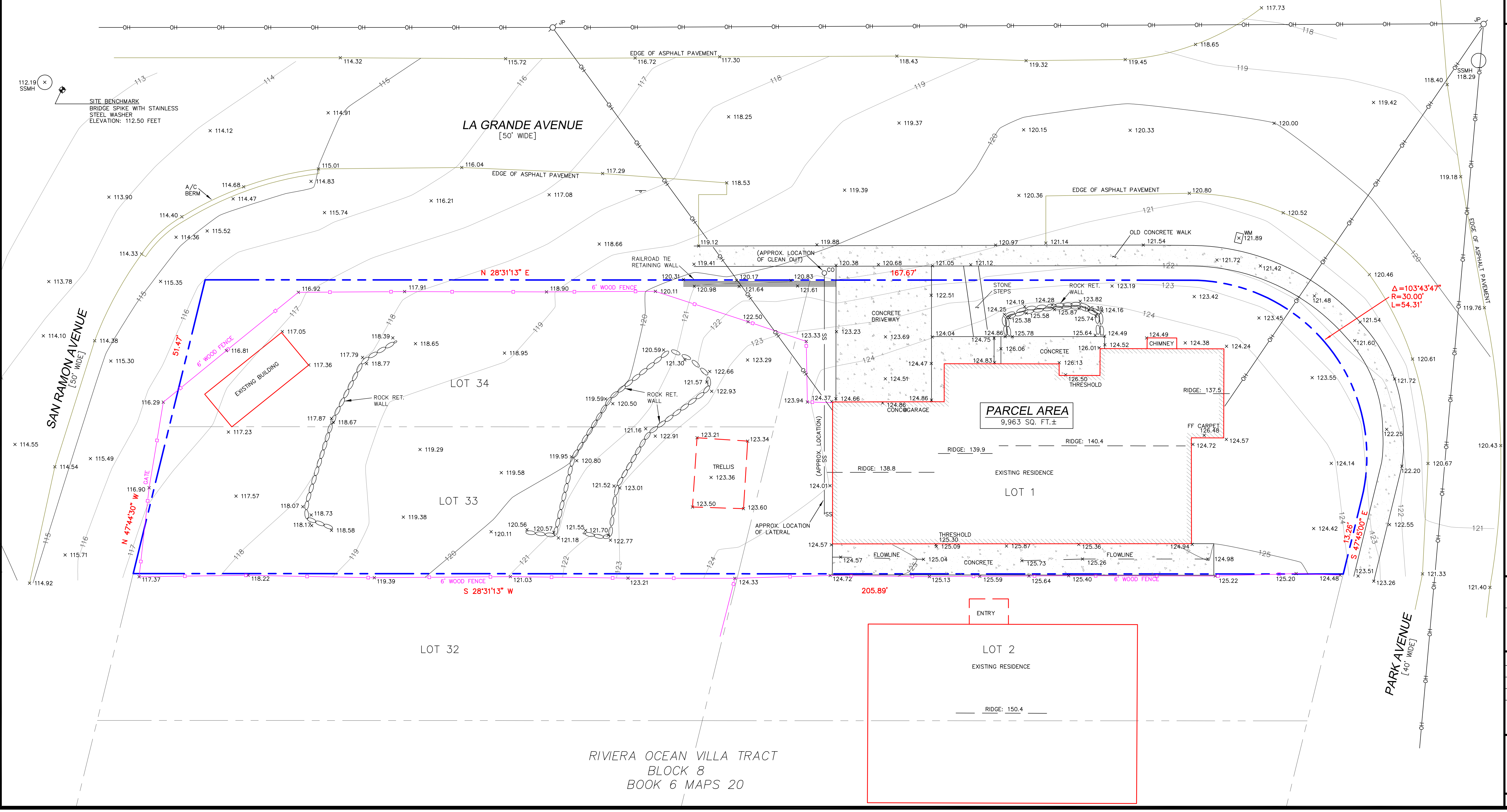
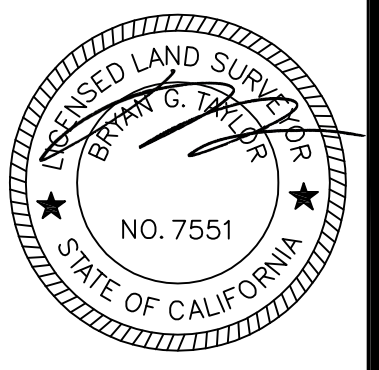
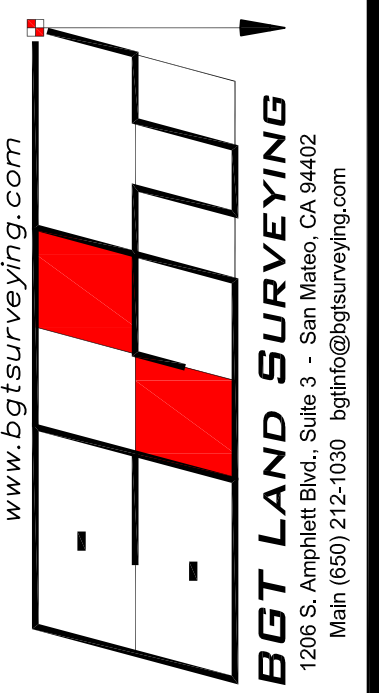
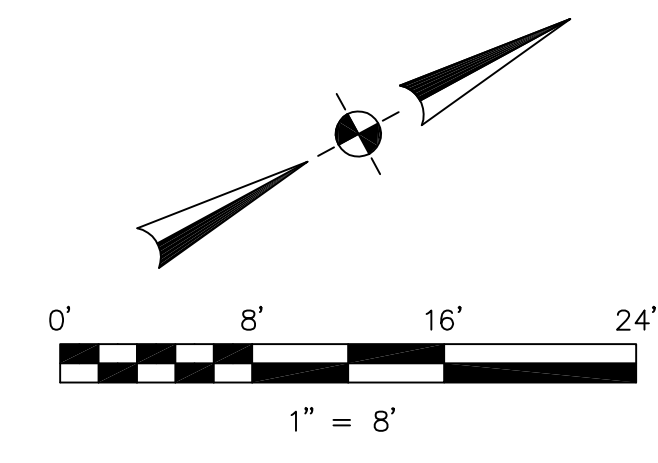
TREE LOCATIONS SHOWN HEREON ARE SHOWN SYMBOLICALLY WITH SYMBOL SIZES BASED UPON TRUNK DIAMETER AT CHEST HEIGHT, AT THE LOCATION WHERE THE TREE ENTERS THE GROUND SURFACE. LOCATIONS AND SIZES OF TREE TRUNKS CAN ONLY BE CONSIDERED APPROXIMATE UNLESS OTHERWISE STATED ON THE MAP. TREES OF TRUNK DIAMETER SIZES OF 6 INCHES OR GREATER WERE LOCATED BY THE FIELD CREW.

SURVEY PERFORMED BY: BGT LAND SURVEYING
www.bgtlandsurveying.com

DATE OF FIELD SURVEY: MARCH, 2017
JOB NUMBER: 17-038

LEGEND

AC	ASPHALT CONCRETE	MH	MH (TYPE UNKNOWN)
BW	BACK OF WALK	MON-MON	MONUMENT TO MONUMENT DISTANCE
CB	CATCH BASIN	PBV	PACBELL/SBC VAULT
C/L	CENTERLINE	PGE	PG&E VAULT
CMP	CORRUGATED METAL PIPE	PIV	POST INDICATOR VALVE
CI	CAST IRON PIPE	PP	POWER POLE
CO	CLEAN OUT BOX	SDMH	STORM DRAIN MANHOLE
CP	SURVEY CONTROL POINT	SL	STREET LIGHT
CPP	CORRUGATED PLASTIC PIPE	SLB	STREET LIGHT BOX
CTV	CABLE TELEVISION LINE	SLV	STREET LIGHT VAULT
DI	DROP INLET	SSMH	SANITARY SEWER MANHOLE
EM	ELECTRIC METER	SSV	SANITARY SEWER VAULT
EV	ELECTRIC VAULT	TBC	TOP BACK OF CURB
FF	FINISHED FLOOR	TBM	TEMPORARY BENCHMARK
FL	FLOWLINE	TS	TRAFFIC SIGNAL
FLH	FIRE HYDRANT	TSB	TRAFFIC SIGNAL BOX
GM	GAS METER	UNK	UNKNOWN TYPE
GRD	GROUND	VCP	VITRIFIED CLAY PIPE
GUY	GUY ANCHOR	WBF	WATER BACK FLOW VALVE
GV	GAS VALVE	WM	WATER METER BOX
HCR	HANDICAP RAMP	WV	WATER VALVE
HVE	HIGH-VOLT ELECTRIC	-CTV-	CABLE TELEVISION LINE
INV.	INVERT	-E-	ELECTRICAL LINE
IP	IRON PIPE	-G-	GAS LINE
JP	JOINT POLE	-OH-	OVERHEAD LINE
KV	KILOVOLT	-SD-	STORM DRAIN LINE
LAT.	LATERAL	-SS-	SANITARY SEWER LINE
LG	LIP OF GUTTER	-T-	TELEPHONE LINE
		-W-	WATER LINE



BOUNDARY AND TOPOGRAPHIC SURVEY
 LOTS 1, 33, AND 34, BLOCK 8, "RIVIERA OCEAN VILLA TRACT" (BOOK 6 MAPS 20)
836 PARK AVENUE
 MOSS BEACH, UNINCORPORATED SAN MATEO COUNTY, CALIFORNIA

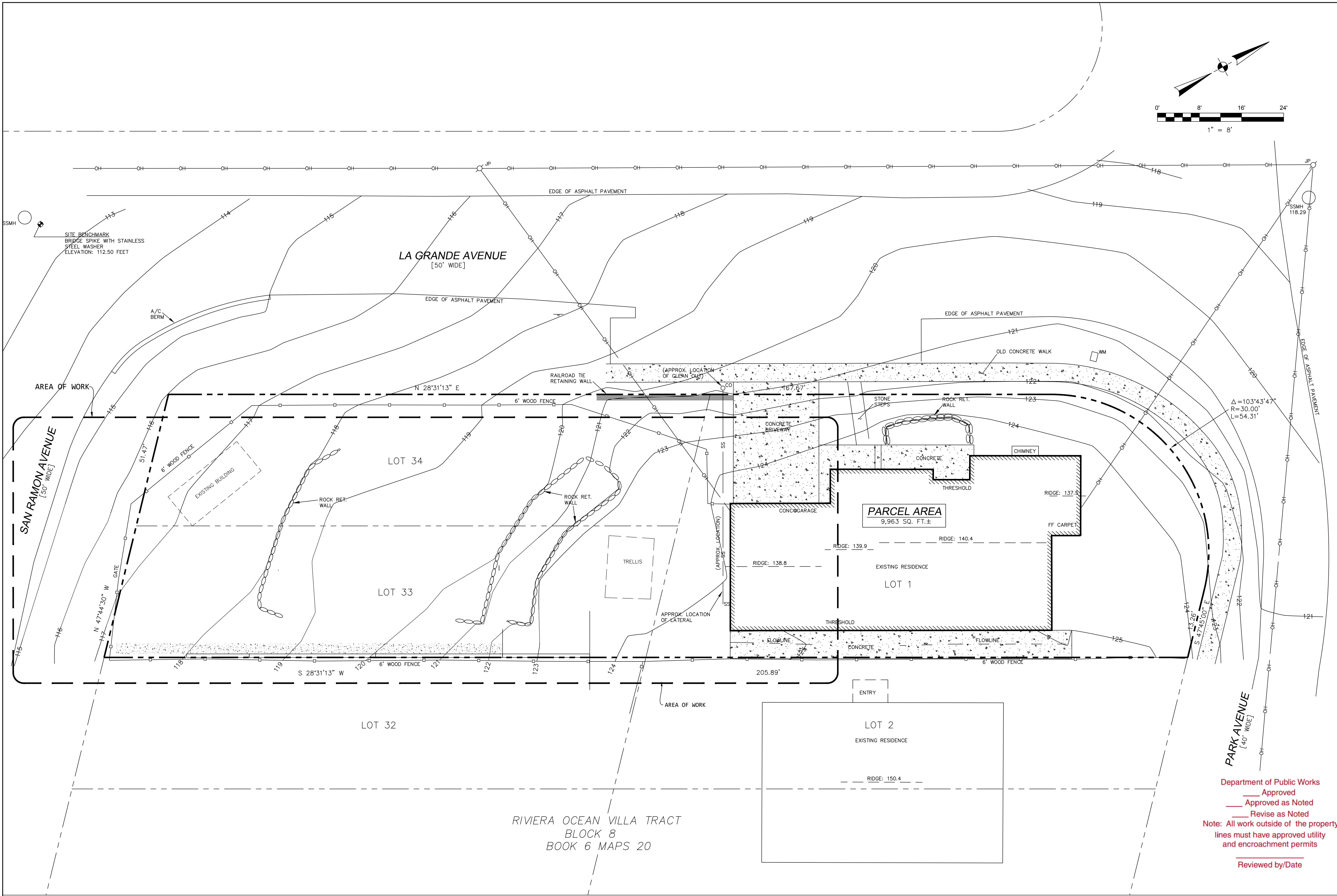
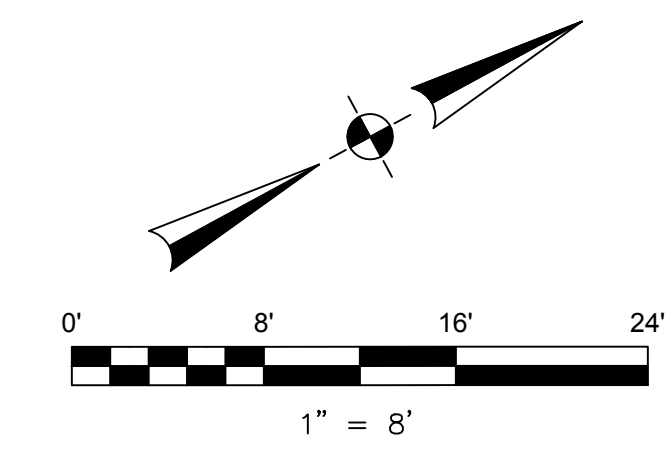
Assessor Parcel Number:
037-259-010

Prepared For:
PATRICIA LAURITZEN
836 Park Avenue
Moss Beach, CA 94038

Date: APRIL, 2017
 Scale: 1" = 8'
 Contour Interval: 1'
 Drawn by: LHL
 Revisions:

SU-1

Job No. 17-038



KEMCON ENGINEERING ASSOCIATES
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engineers@kemcon.com



7/18/2023

GRADING AND DRAINAGE
836 PARK AVE.
MOSS BEACH, CA. 94038

EXISTING SITE PLAN

DATE: 06/30/2022
SCALE: AS SHOWN
DRAWN: JL
SHEET NO:

C1.0

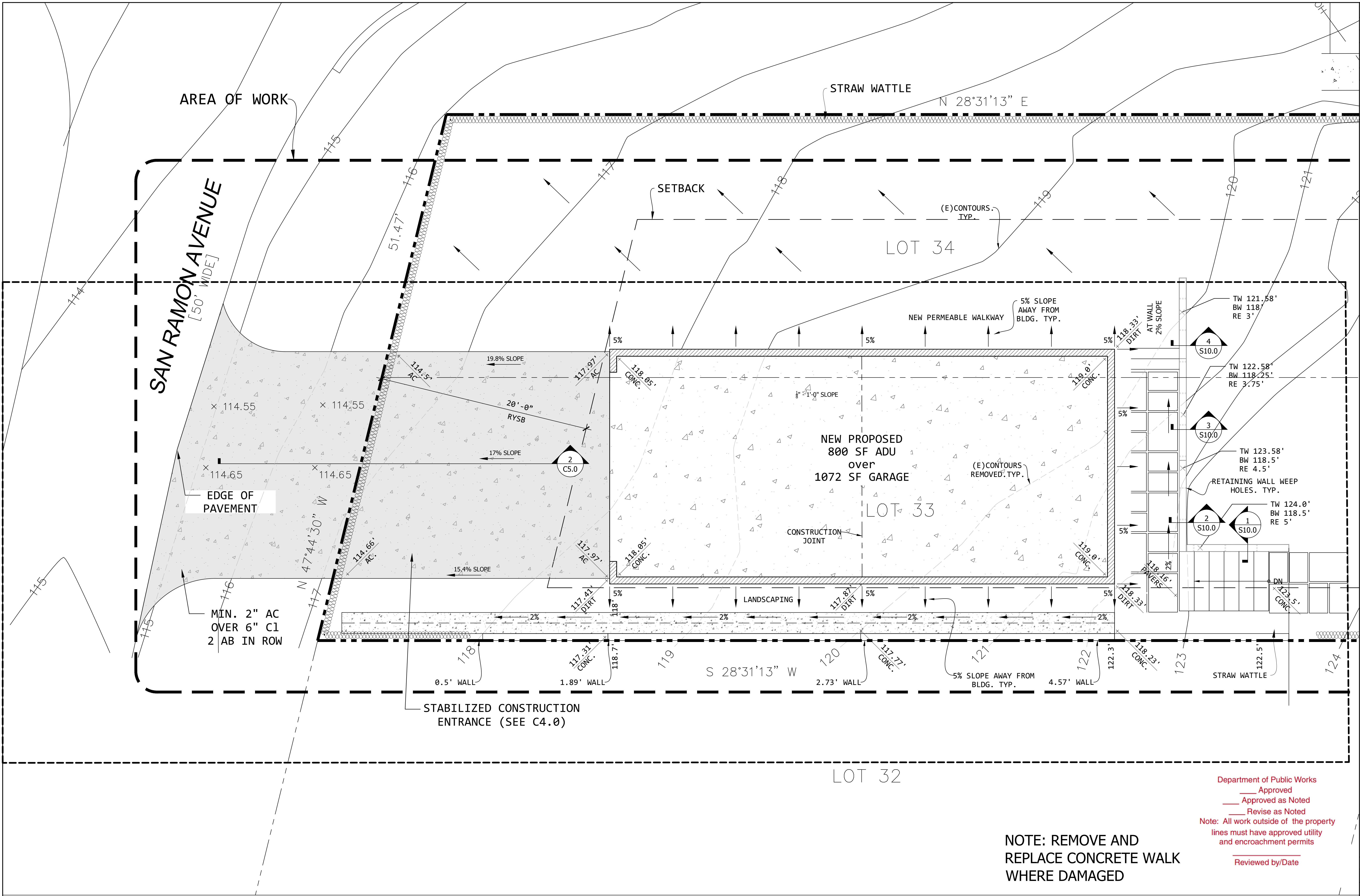
1 EXISTING SITE PLAN

Scale: 1/8" = 1'-0"



Department of Public Works
Approved
Approved as Noted
Revise as Noted
Note: All work outside of the property lines must have approved utility and encroachment permits
Reviewed by/Date

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REVISIONS	BY

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 engineers@kemcon.com

7/18/2023

GRADING AND DRAINAGE
 836 PARK AVE.
 MOSS BEACH, CA. 94038

GRADING PLAN IMPROVEMENTS
 & EROSION CONTROL MEASURE

Department of Public Works
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 Approved as Noted
 Revise as Noted
 Note: All work outside of the property lines must have approved utility and encroachment permits
 Reviewed by/Date

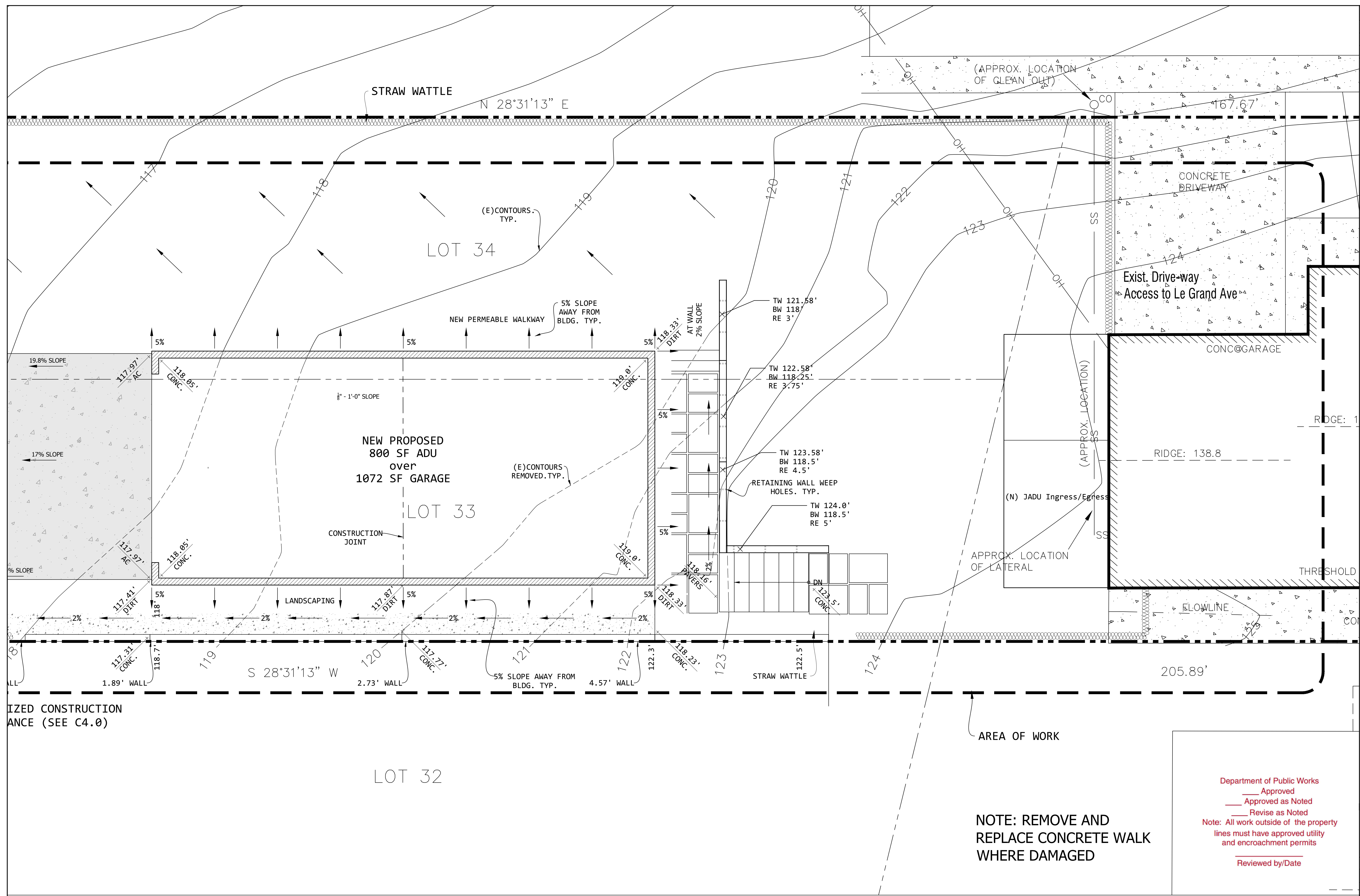
NOTE: REMOVE AND REPLACE CONCRETE WALK WHERE DAMAGED

DATE: 06/30/2022
 SCALE: AS SHOWN
 DRAWN: JL
 SHEET NO:

Scale: 1/4" = 1'-0"



REVISIONS	BY



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 engineers@kemcon.com



7/18/2023

GRADING AND DRAINAGE
836 PARK AVE.
MOSS BEACH, CA. 94038

GRADING PLAN IMPROVEMENTS
 & EROSION CONTROL MEASURE
 (CONT.)

DATE: 06/30/2022
 SCALE: AS SHOWN
 DRAWN: JL
 SHEET NO:

C3.0

1 (N) GRADING PLAN IMPROVEMENTS & EROSION CONTROL MEASURE (CONT.)

Scale: 1/4" = 1'-0"

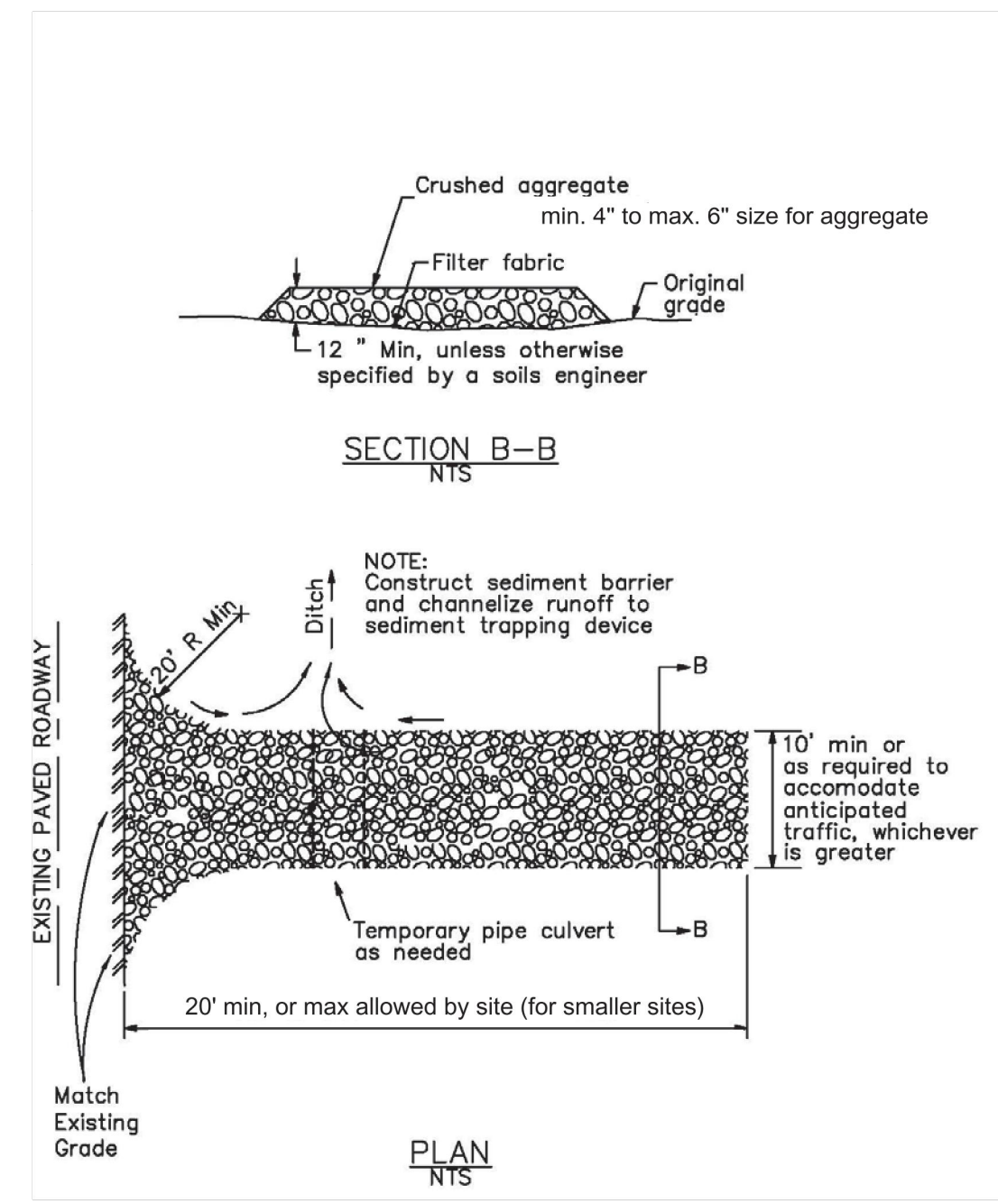


NOTE: REMOVE AND REPLACE CONCRETE WALK WHERE DAMAGED

LEGEND:	
	STRAW WATTLE

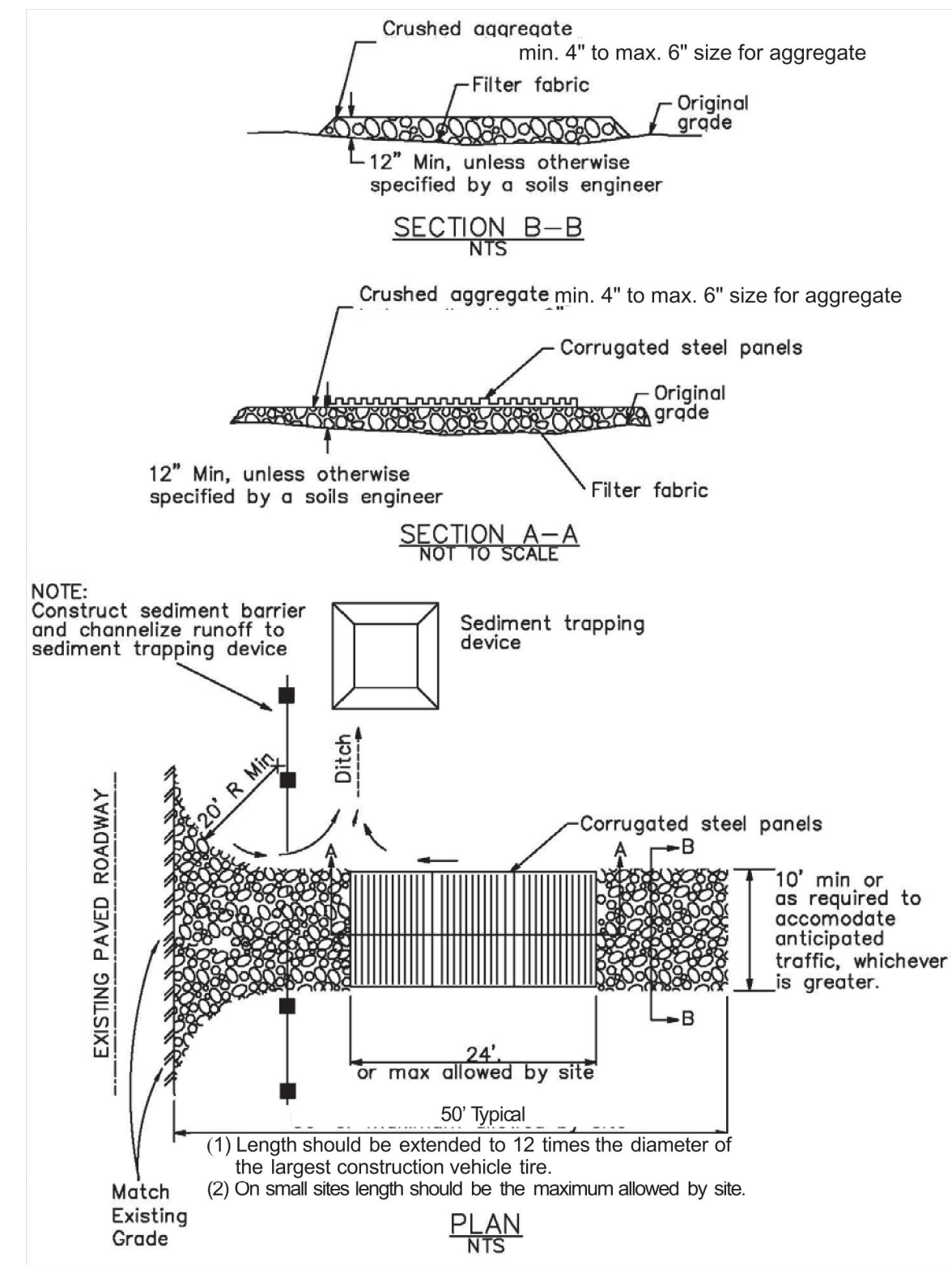
Department of Public Works
 Approved
 Approved as Noted
 Revise as Noted
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 Reviewed by/Date

Stabilized Construction Entrance/Exit TC-1



July 2012 California Stormwater BMP Handbook Construction www.casqa.org 5 of 6

Stabilized Construction Entrance/Exit TC-1



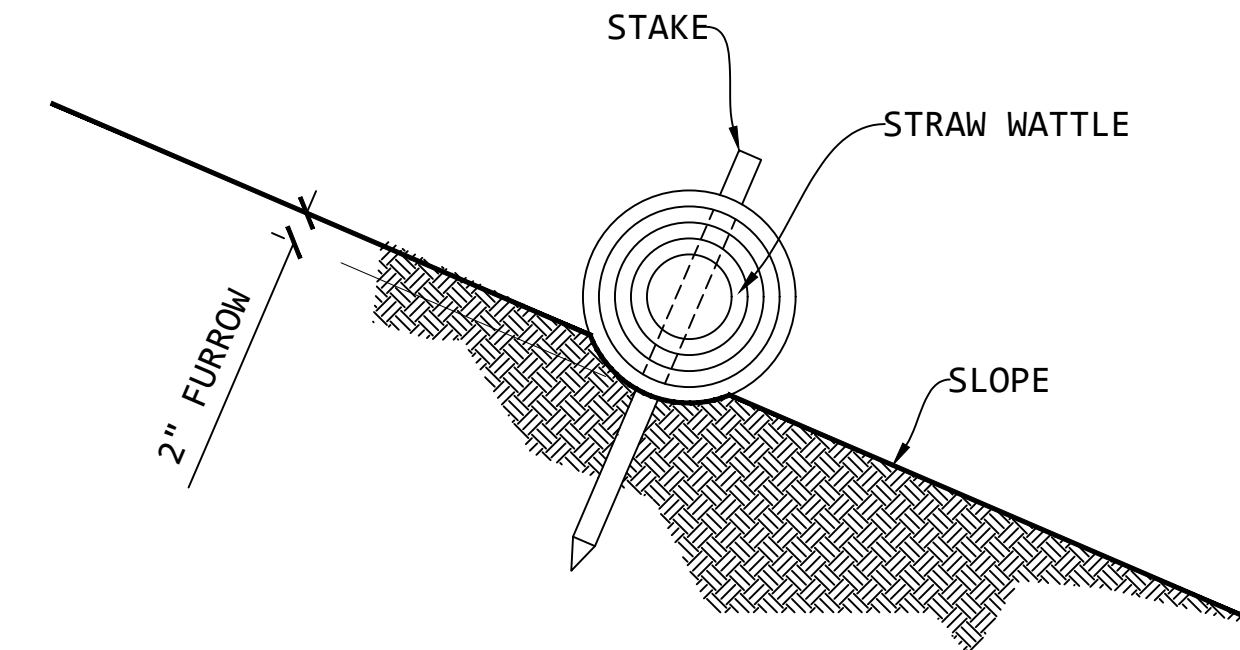
July 2012 California Stormwater BMP Handbook Construction www.casqa.org 6 of 6

1 STABILIZED CONSTRUCTION ENTRANCE DETAIL

Scale: N/A

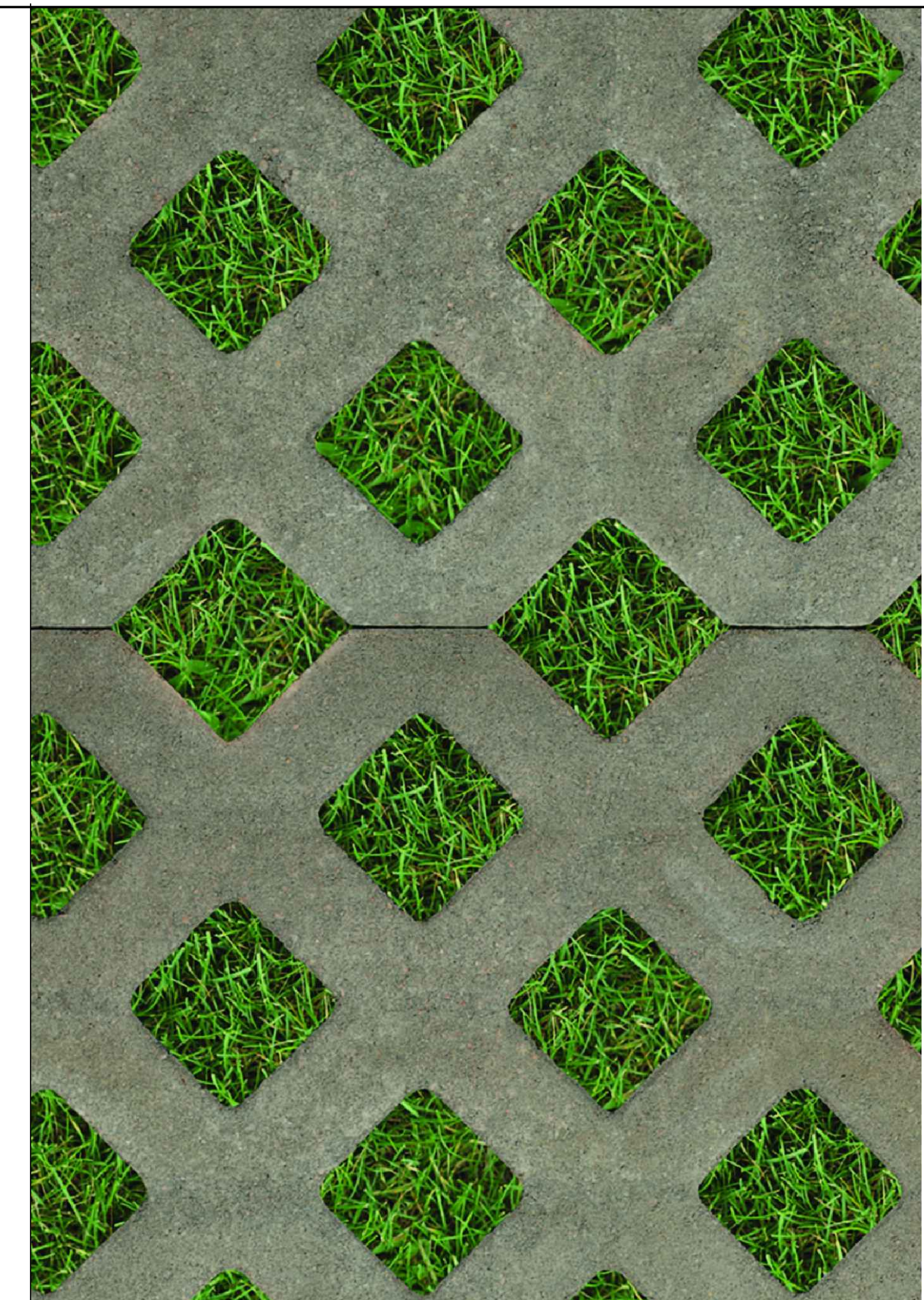
2 STRAW WATTLE STAKE DETAIL

Scale: 1" = 1'-0"



3 TURFSTONE PERMEABLE PAVER

Scale: N/A



Department of Public Works
 ___ Approved
 ___ Approved as Noted
 ___ Revise as Noted
 Note: All work outside of the property lines must have approved utility and encroachment permits
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 510.343.8310
 engineers@kemcon.com

7/18/2023

**GRADING AND DRAINAGE
 836 PARK AVE.
 MOSS BEACH, CA. 94038**

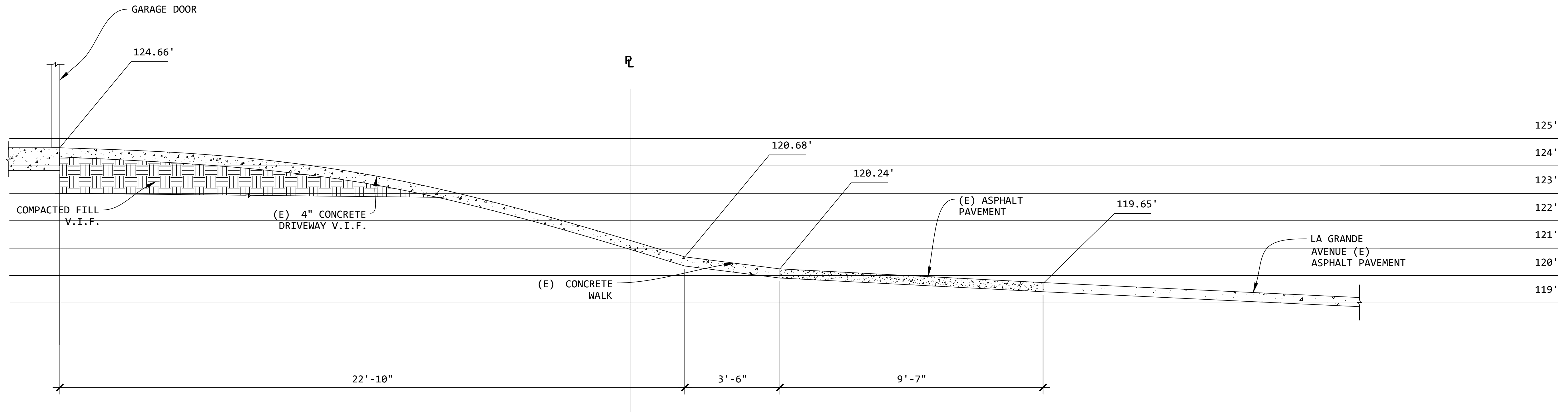
DETAILS

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 DRAWN: JL
 SHEET NO:

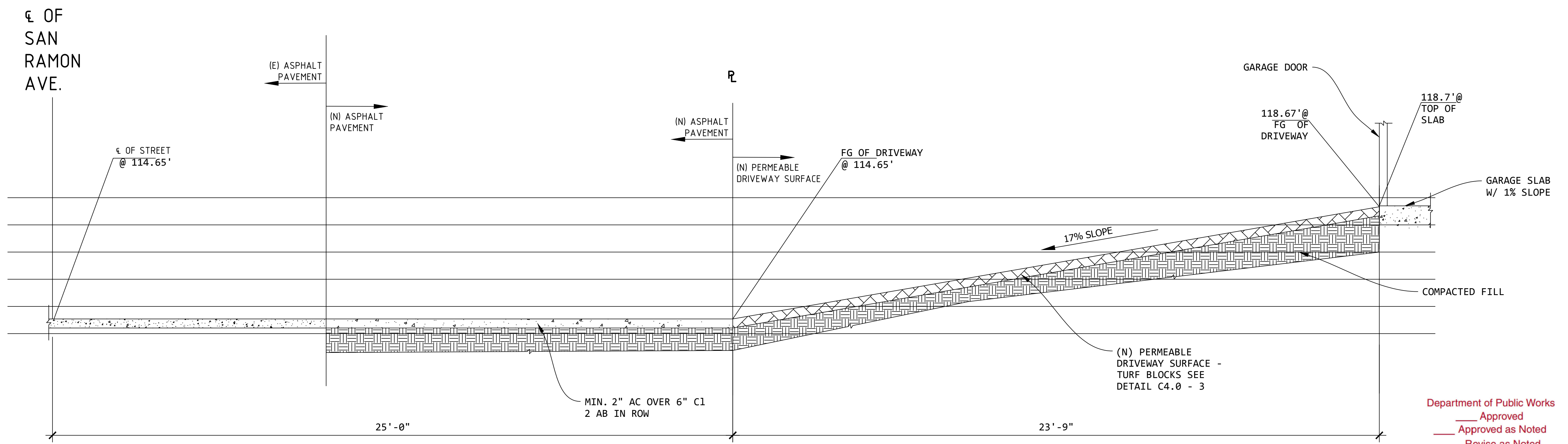
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REVISIONS	BY



1 (E) GARAGE DRIVEWAY SECTION - NO CHANGE TO EXISTING CONDITIONS
Scale: 1/2" = 1'-0"



2 (N) ADU SECTION AT PERMEABLE DRIVEWAY
Scale: 1/2" = 1'-0"

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7/18/2023

GRADING AND DRAINAGE
836 PARK AVE.
MOSS BEACH, CA. 94038

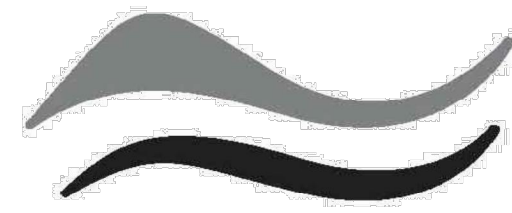
DRIVEWAY
PROFILES

Department of Public Works
 Approved
 Approved as Noted
 Revise as Noted
 Note: All work outside of the property lines must have approved utility and encroachment permits
 Reviewed by/Date

DATE: 06/30/2022
SCALE: AS SHOWN
DRAWN: JL
SHEET NO:

C5.0

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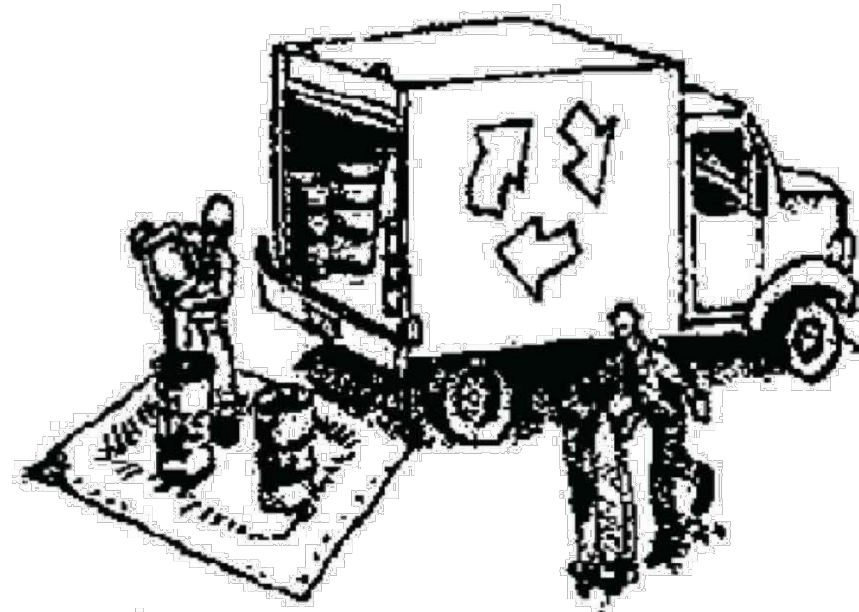
SAN MATEO COUNTYWIDE
**Water Pollution
Prevention Program**
Clean Water. Healthy Community.

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Department of Public Works
 Approved
 Approved as Noted
 Revise as Noted
 Note: All work outside of the property lines must have approved utility and encroachment permits
 Reviewed by/Date

Materials & Waste Management



Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



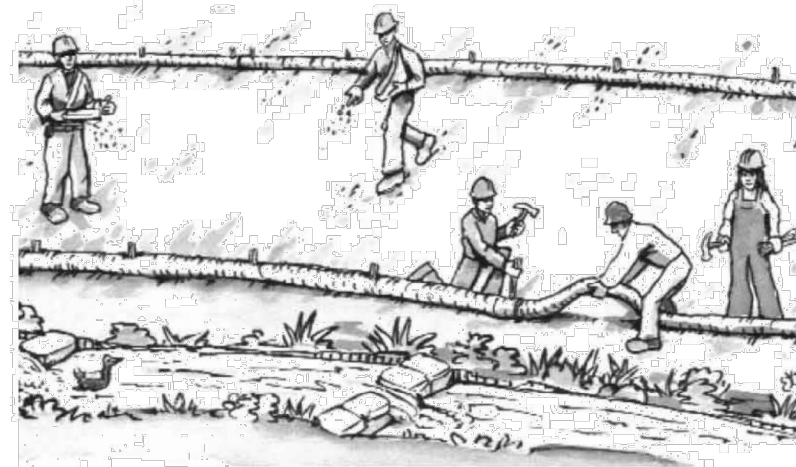
Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work



- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

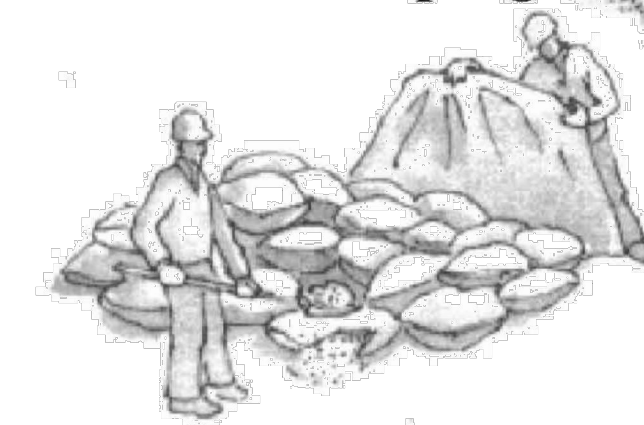
- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



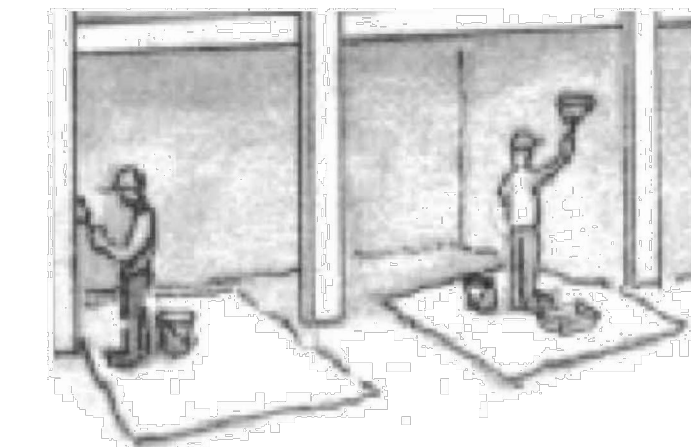
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

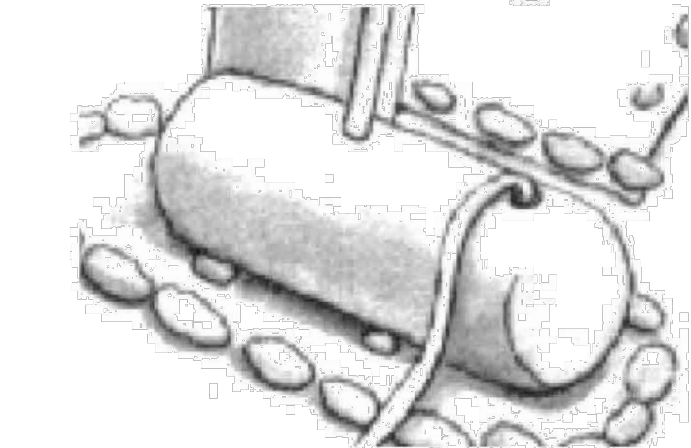
Painting & Paint Removal



Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!

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7/18/2023

GRADING AND DRAINAGE
 836 PARK AVE.
 MOSS BEACH, CA. 94038

CONSTRUCTION BEST
 MANAGEMENT PRACTICES
 (BMPs)

DATE: 06/30/2022
 SCALE: AS SHOWN
 DRAWN: JL
 SHEET NO:

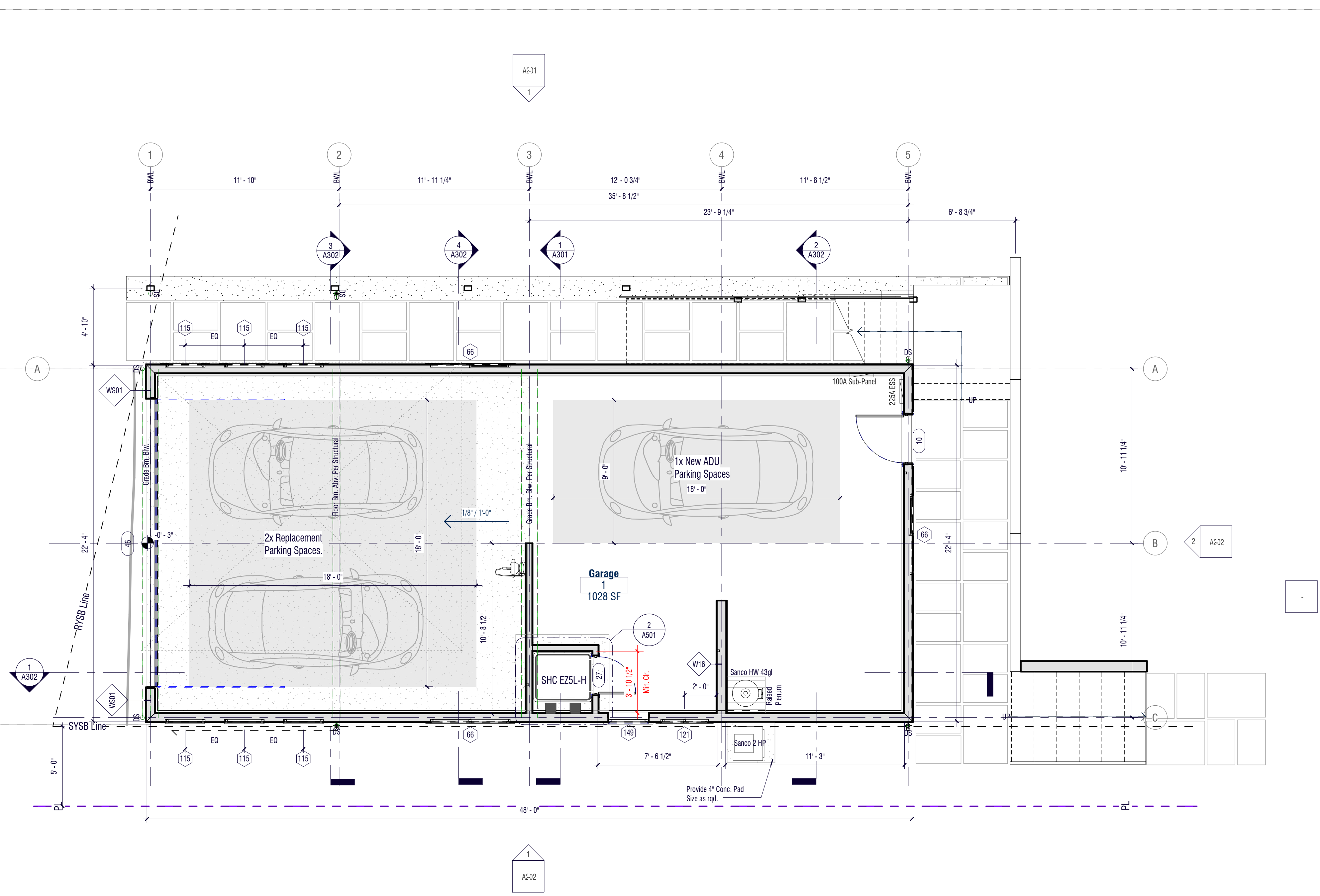
BMP

SAN RAMON

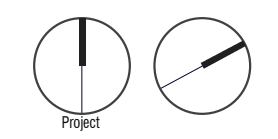
the LAURITZEN Family

836 park ave.
Project OUTLAW
GARAGE + ADU

836 Park Ave
Moss Beach



1 Lvl1 FLOOR PLAN
1/4" = 1'-0"



GARAGE FLOOR PLAN

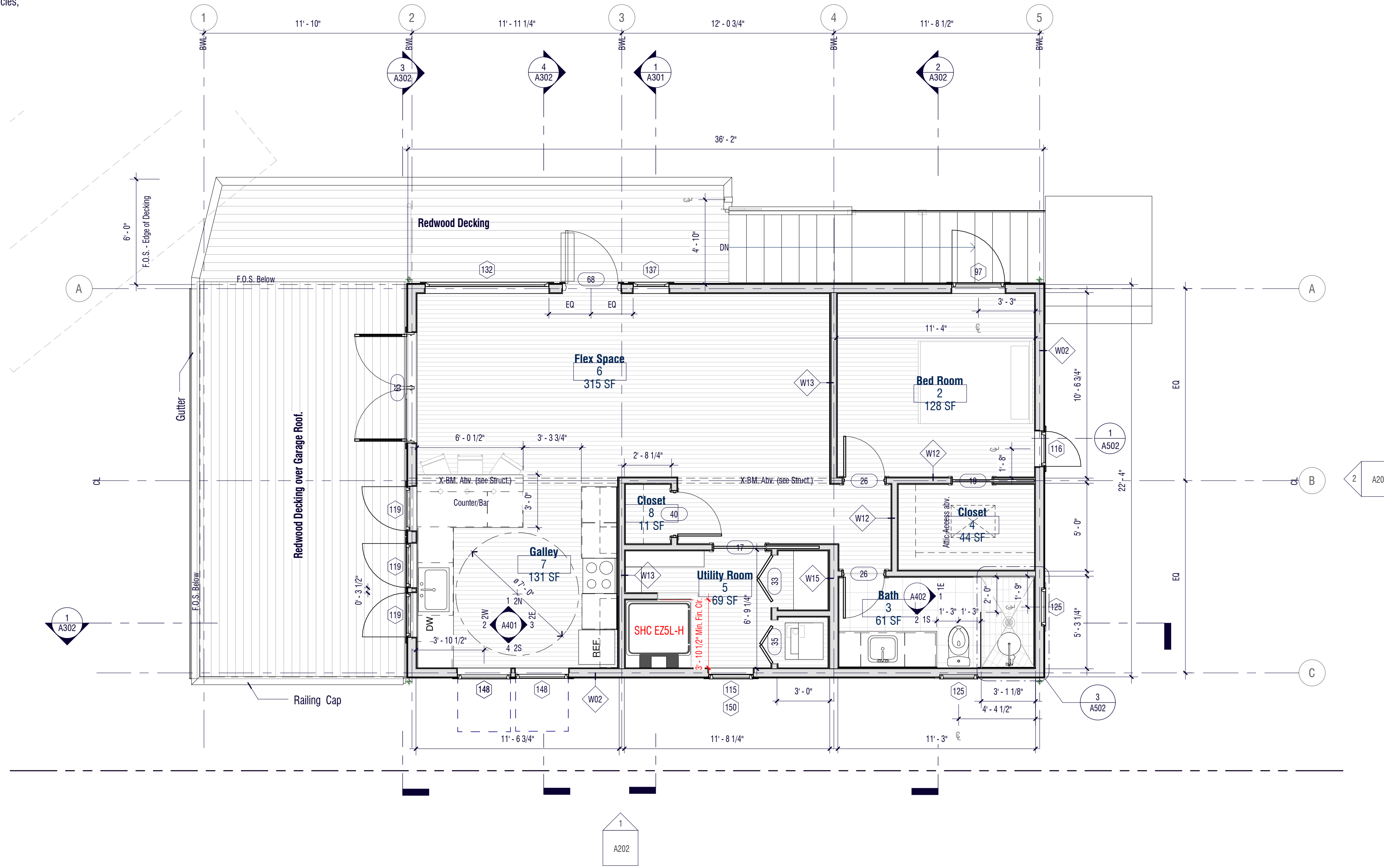
Review Phase

B	For Comment	22SEP22
No.:	REVISION	DATE
Building ID.:	Garage + ADU	

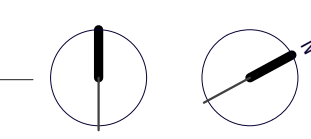
Sheet No.: **A101**
Project Number: 836PRK-0421-B
Date: 20.04.21

FLOOR PLAN NOTES

1. GC to Coordinate with the Lift installation Contractor the timing of the Framing and of the Lift Install to ensure efficient work flow.
2. GC to Coordinate with the Electrical Contractor and the Lift Contractor the optimum Wiring times and schedule accordingly.
3. Verify ALL Dimensions, existing conditions and report any errors, inconsistencies, and or omissions to the Designer.
4. All dimensions F.O.S., F.O.C., U.O.N.
5. Owner, GC and Cabinet Mnfr. to confirm cabinet sizing and exact layout.
6. Where possible, centre Kitchen sink to window locations, interior walls.



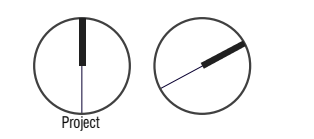
1 Lvl 2 FLOOR PLAN
1/4" = 1'-0"



the LAURITZEN Family

836 park ave.
Project OUTLAW
GARAGE + ADU

836 Park Ave
Moss Beach



FLOOR PLAN

Review Phase

B	For Comment	22SEP22
No.:	REVISION	DATE
Building ID.:	Garage + ADU	

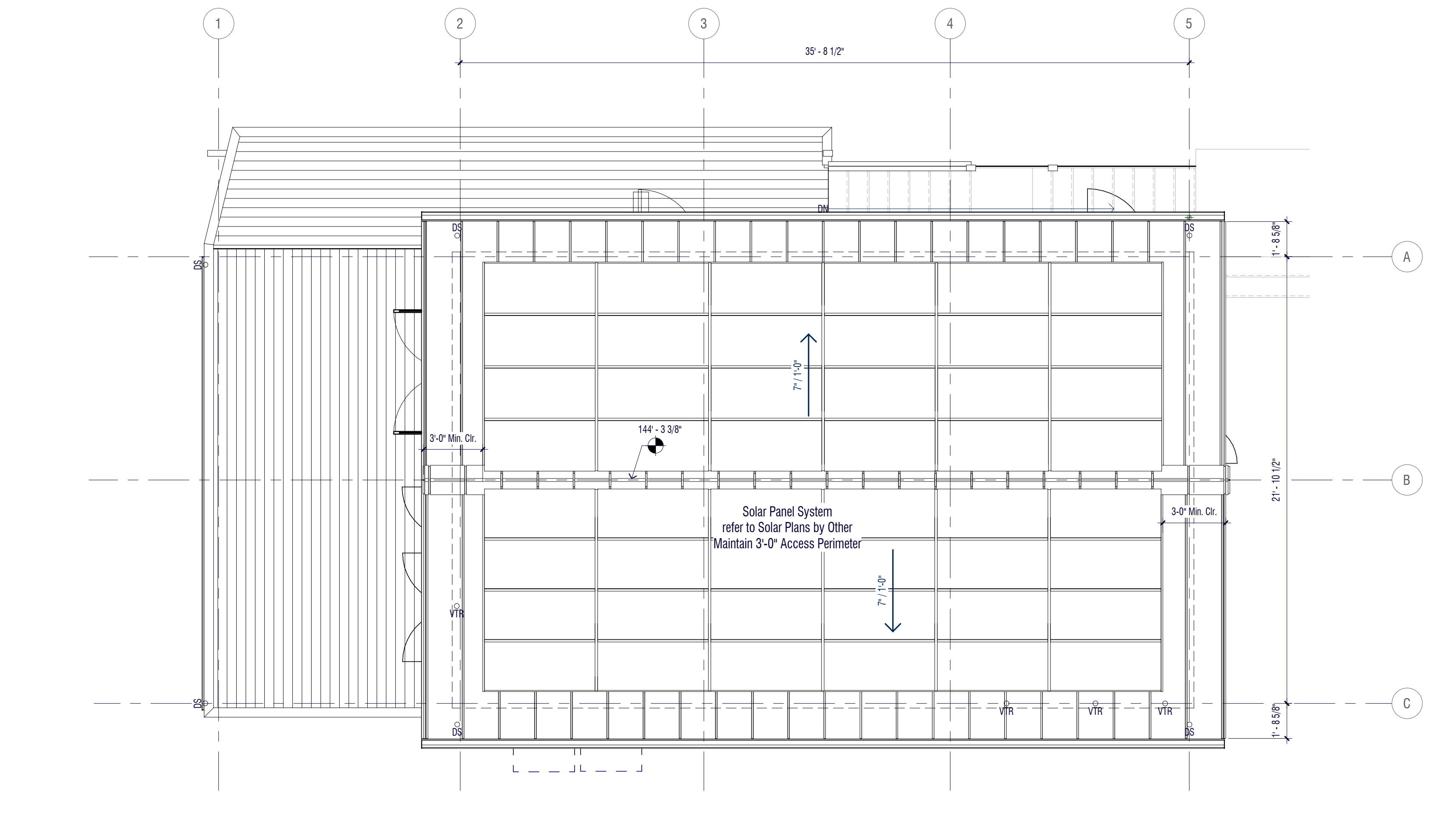
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Date: 20.04.21

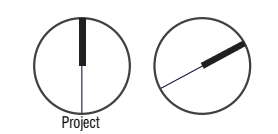
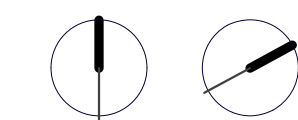
the LAURITZEN Family

836 park ave.
Project OUTLAW
GARAGE + ADU

836 Park Ave
Moss Beach



1 ROOF PLAN
1/4" = 1'-0"



ROOF PLAN

Review Phase

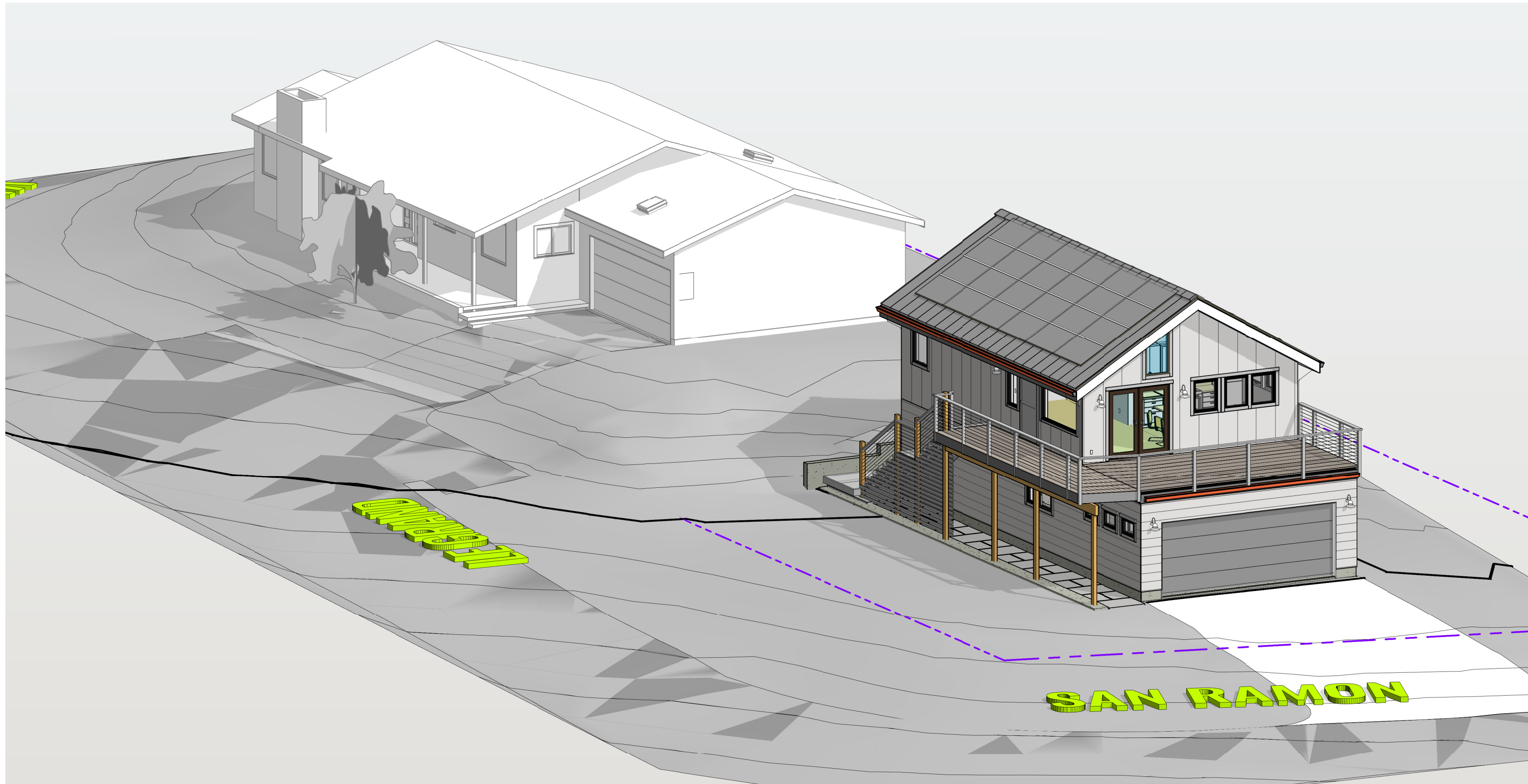
No.	For Comment	REVISION	DATE
B		22SEP22	

Building ID.: Garage + ADU

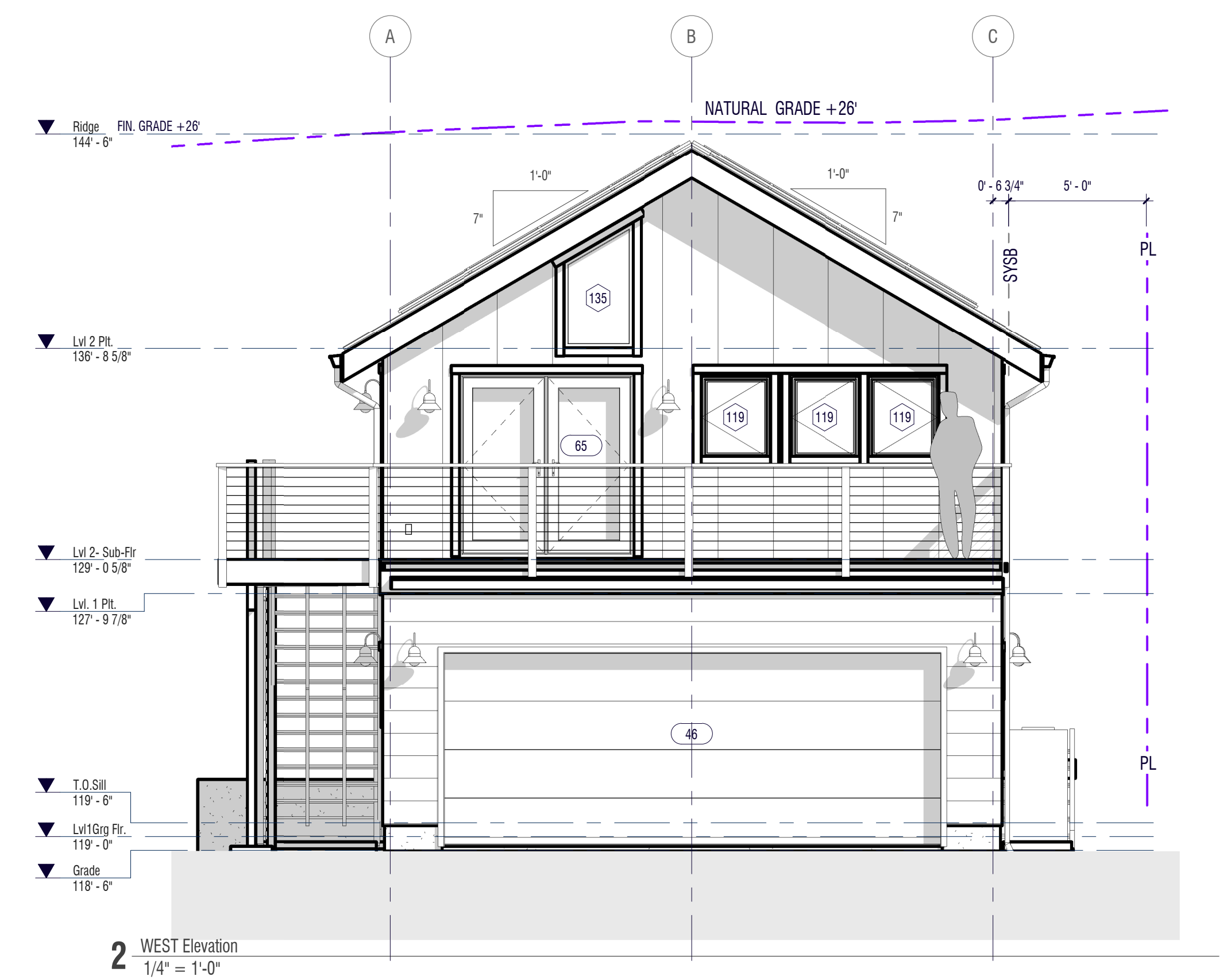
Sheet No.: **A103**

Project Number: 836PRK-0421-B
Date: 20.04.21

the LAURITZEN Family
 836 park ave.
 Project OUTLAW
 GARAGE + ADU
 836 Park Ave
 Moss Beach



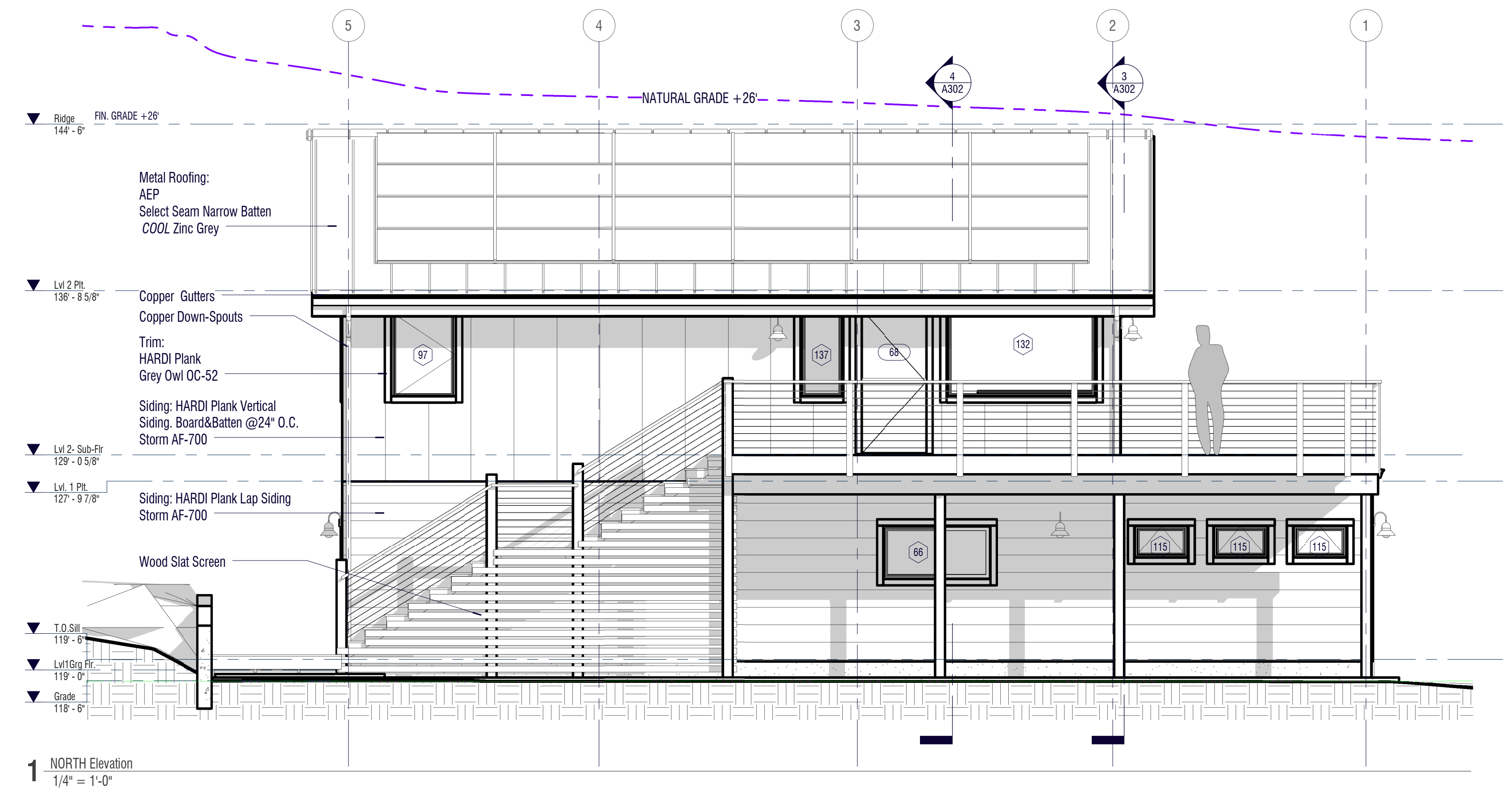
3 NW 3D



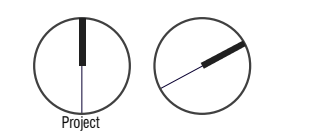
2 WEST Elevation
1/4" = 1'-0"

Elevation Notes:

- Exterior Products & Colors:
- Siding: Color BM Storm AF-700
Hardi Plank Ship-lap Smooth
 - Garage Door: Color BM Blue Note 2129-30
NorthWest Infinity Classic Model IX06S
 - Windows: Color White
Milgard Tuscany V400 Series
 - Trim: Color Grey Owl OC-52
2x Fascia & Trim
 - Roofing: AEP Select Seam 16" Narrow Batten
Cool Zinc Grey



1 NORTH Elevation
1/4" = 1'-0"



ELEVATIONS

Review Phase

C	Remove JADU	05APR23
B	For Comment	22SEP22
No.	REVISION	DATE

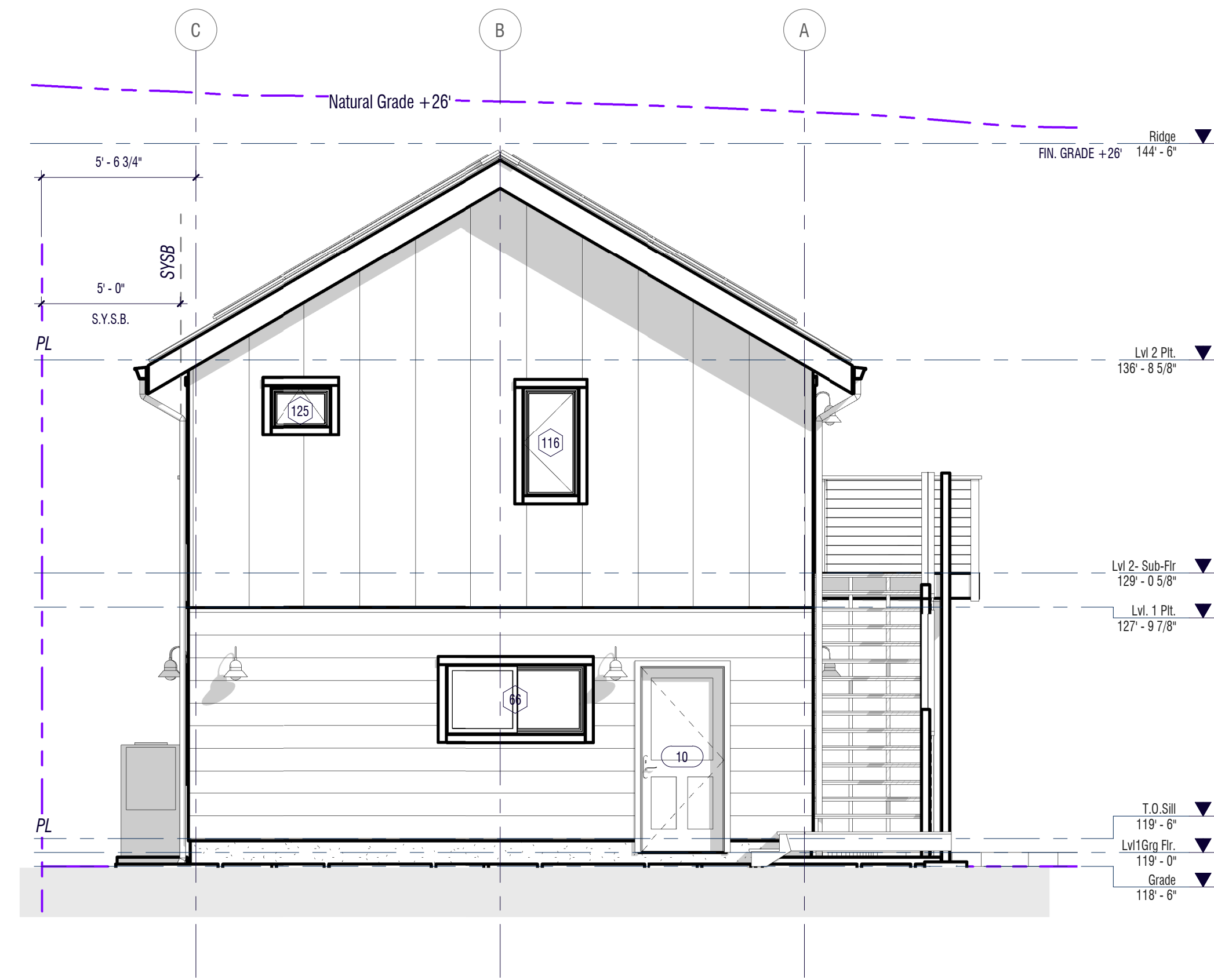
Building ID: Garage + ADU

Sheet No.: **A201**
 Project Number: 836PRK-0421-B
 Date: 20.04.21

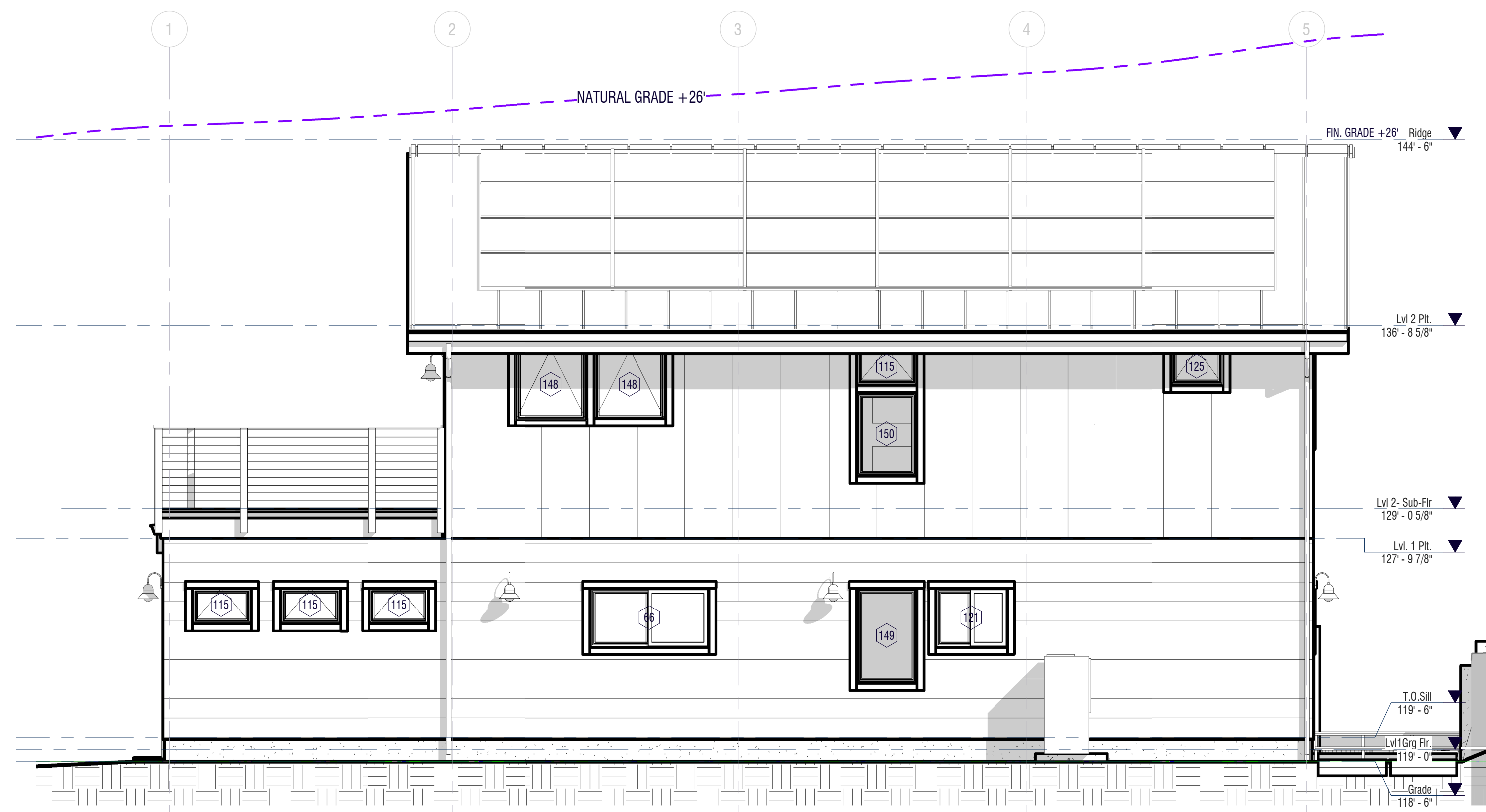
the LAURITZEN Family

836 park ave.
Project OUTLAW
GARAGE + ADU

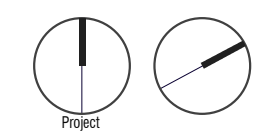
836 Park Ave
Moss Beach



2 EAST Elevation
1/4" = 1'-0"



1 SOUTH Elevation
1/4" = 1'-0"



ELEVATIONS

Review Phase

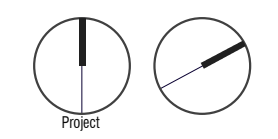
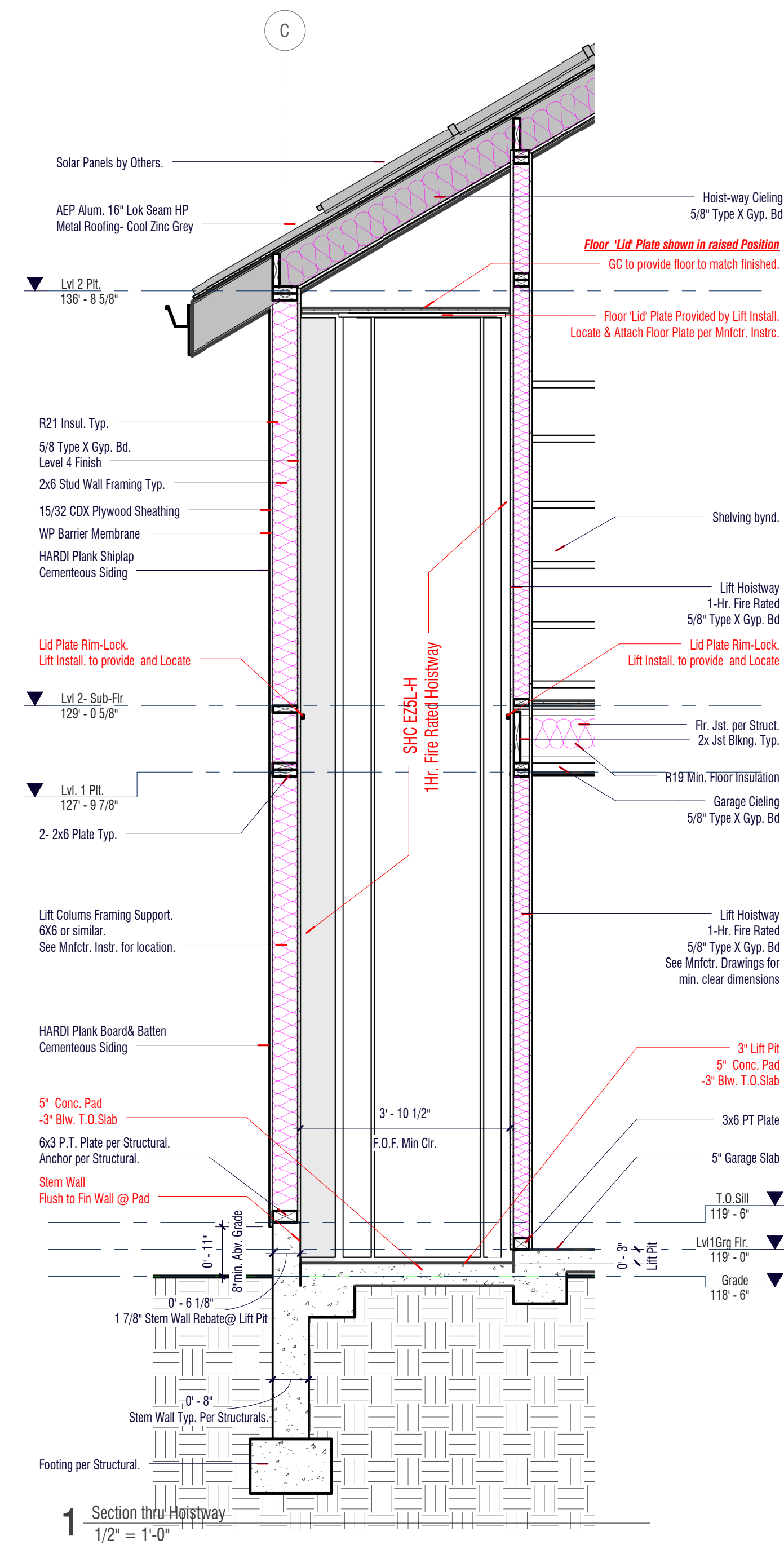
No.	For Comment	22SEP22
REVISION	REVISION	DATE
Building ID:	Garage + ADU	

Sheet No.: **A202**
Project Number: 836PRK-0421-B
Date: 20.04.21

the LAURITZEN Family

836 park ave.
Project OUTLAW
GARAGE + ADU

836 Park Ave
Moss Beach



**WALL SECTIONS @
LIFT SHAFTWAY**

Review Phase

B	For Comment	22SEP22
No.:	REVISION	DATE
Building ID.:	Garage + ADU	

Sheet No.: **A301**
Project Number: 836PRK-0421-B
Date: 20.04.21

the LAURITZEN Family

836 park ave.
 Project OUTLAW
 GARAGE + ADU

836 Park Ave
 Moss Beach

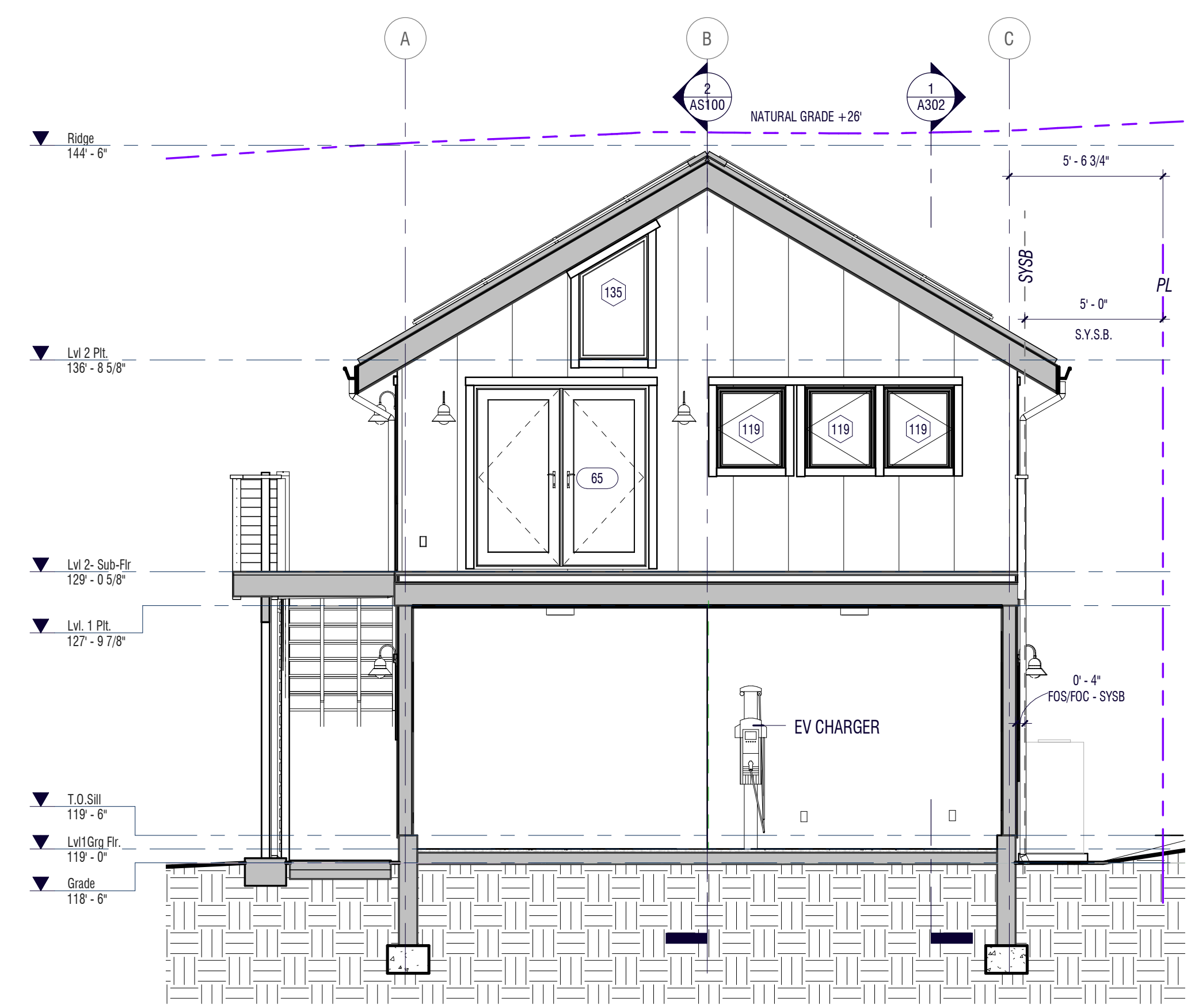
BUILDING SECTIONS

Review Phase

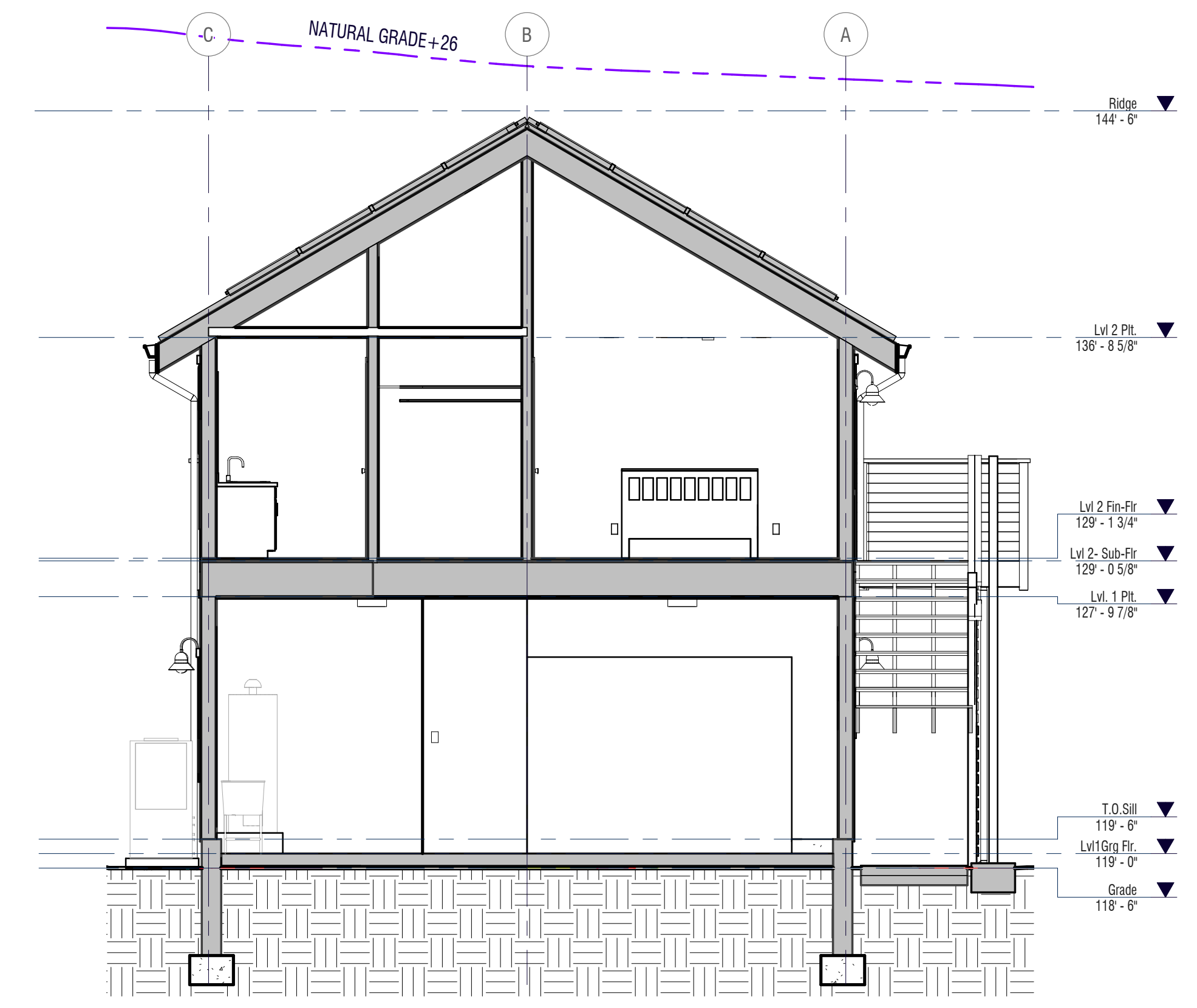
B	For Comment	22SEP22
No.:	REVISION	DATE
Building ID:	Garage + ADU	

A302

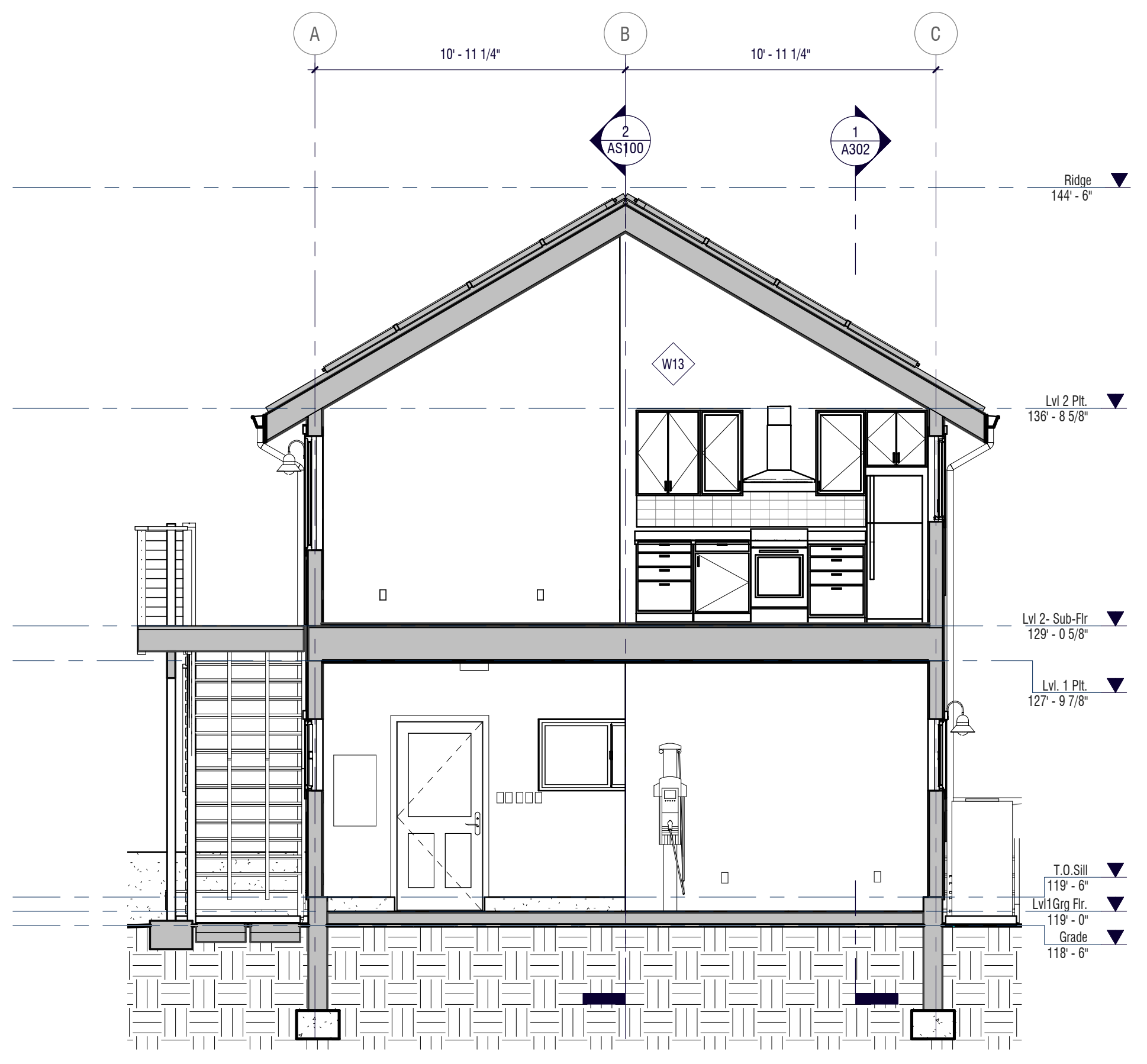
Project Number: 836PRK-0421-B
 Date: 20.04.21



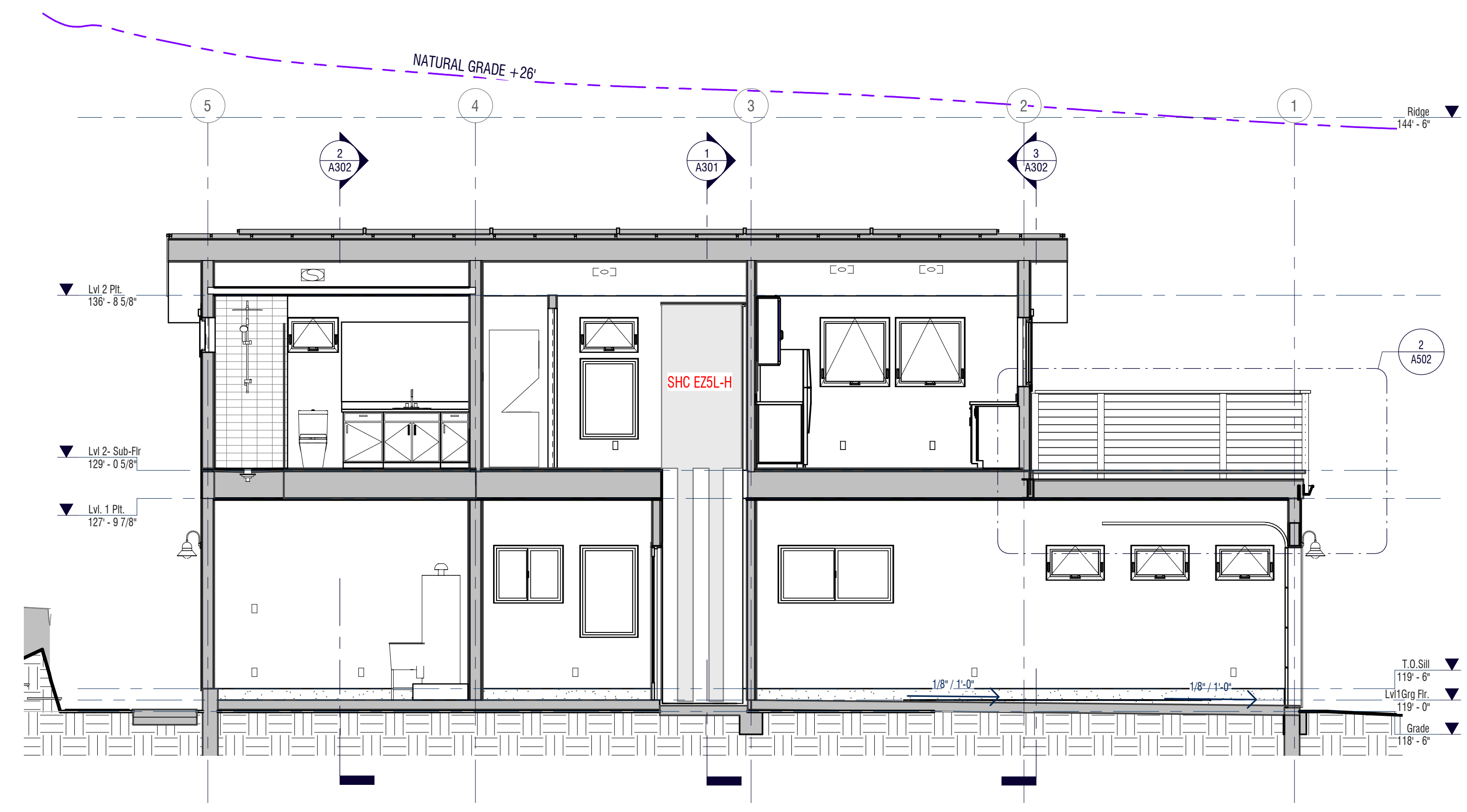
3 Section Thru Parking Garage
 1/4" = 1'-0"



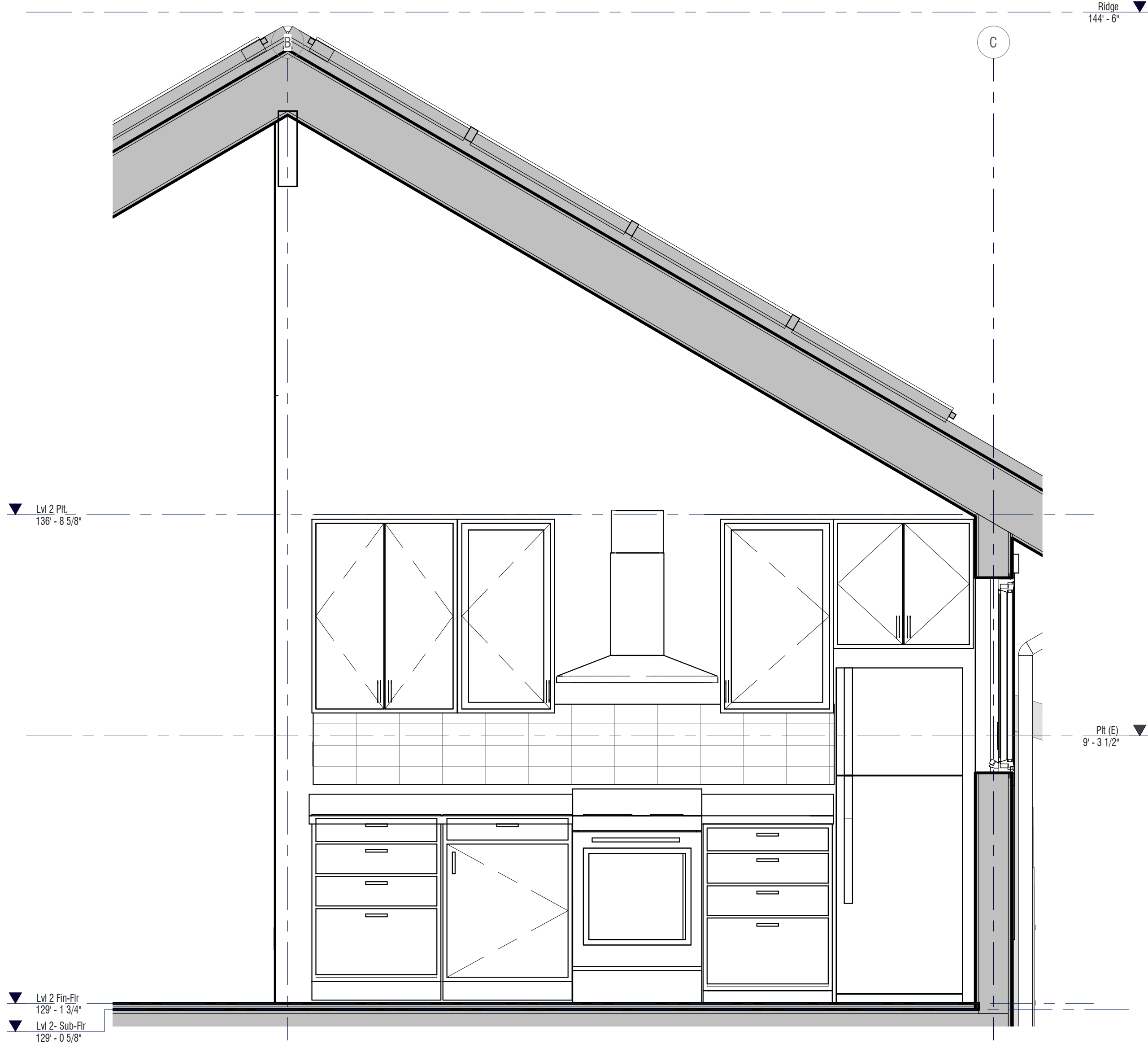
2 Section Thru Workshop
 1/4" = 1'-0"



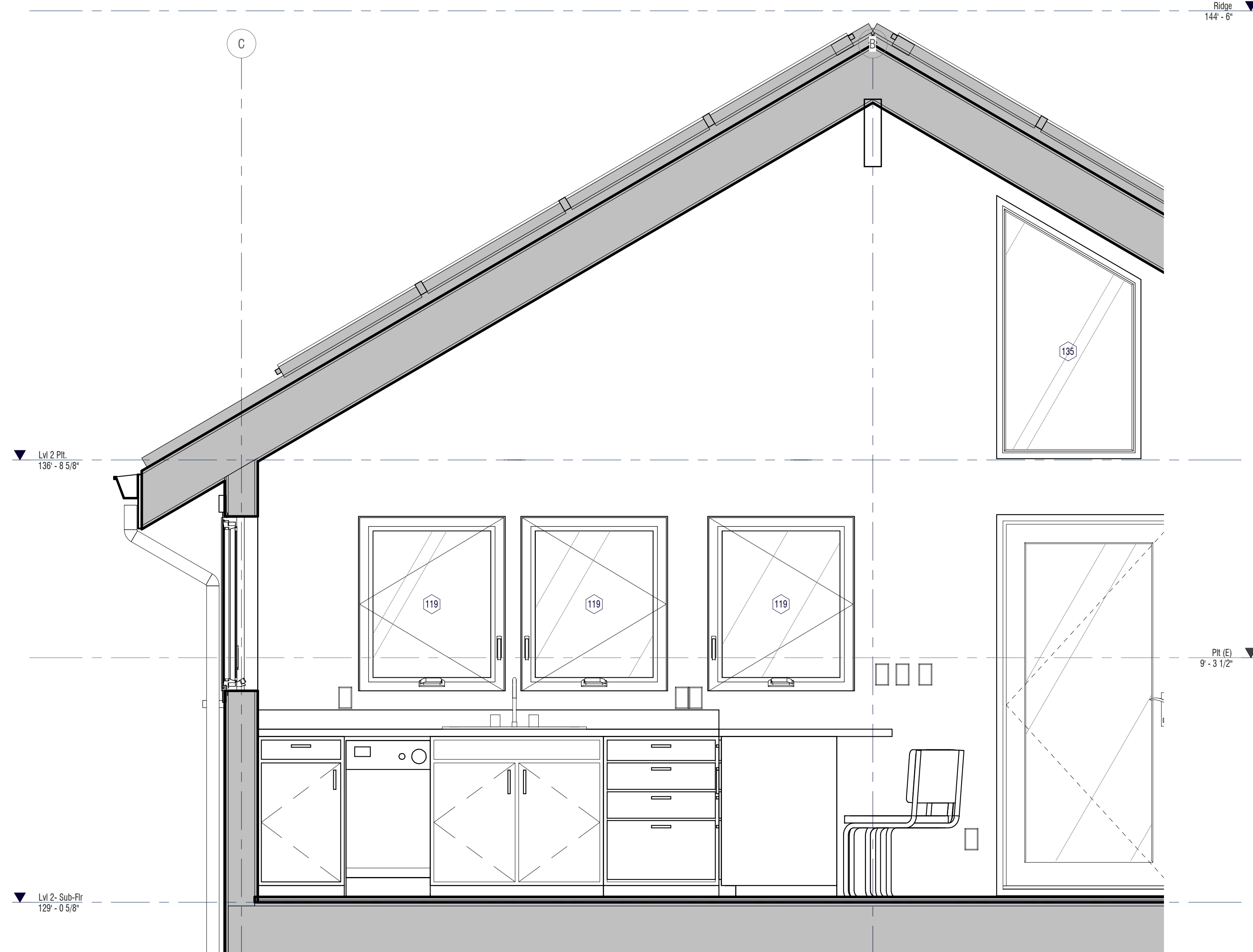
4 Section thru Utility Room
 1/4" = 1'-0"



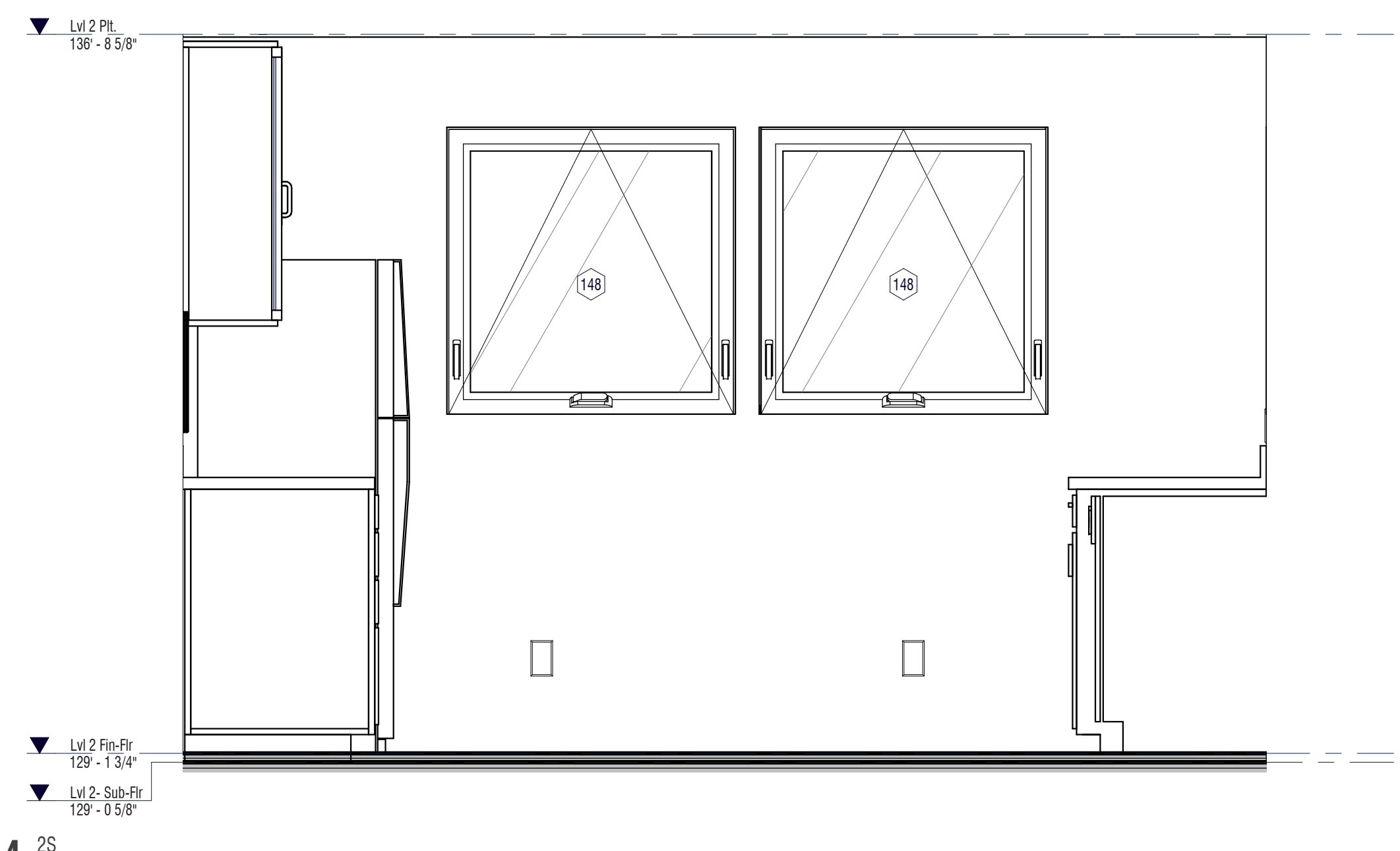
1 Section Longitudinal thru Lift Hoistway
 1/4" = 1'-0"



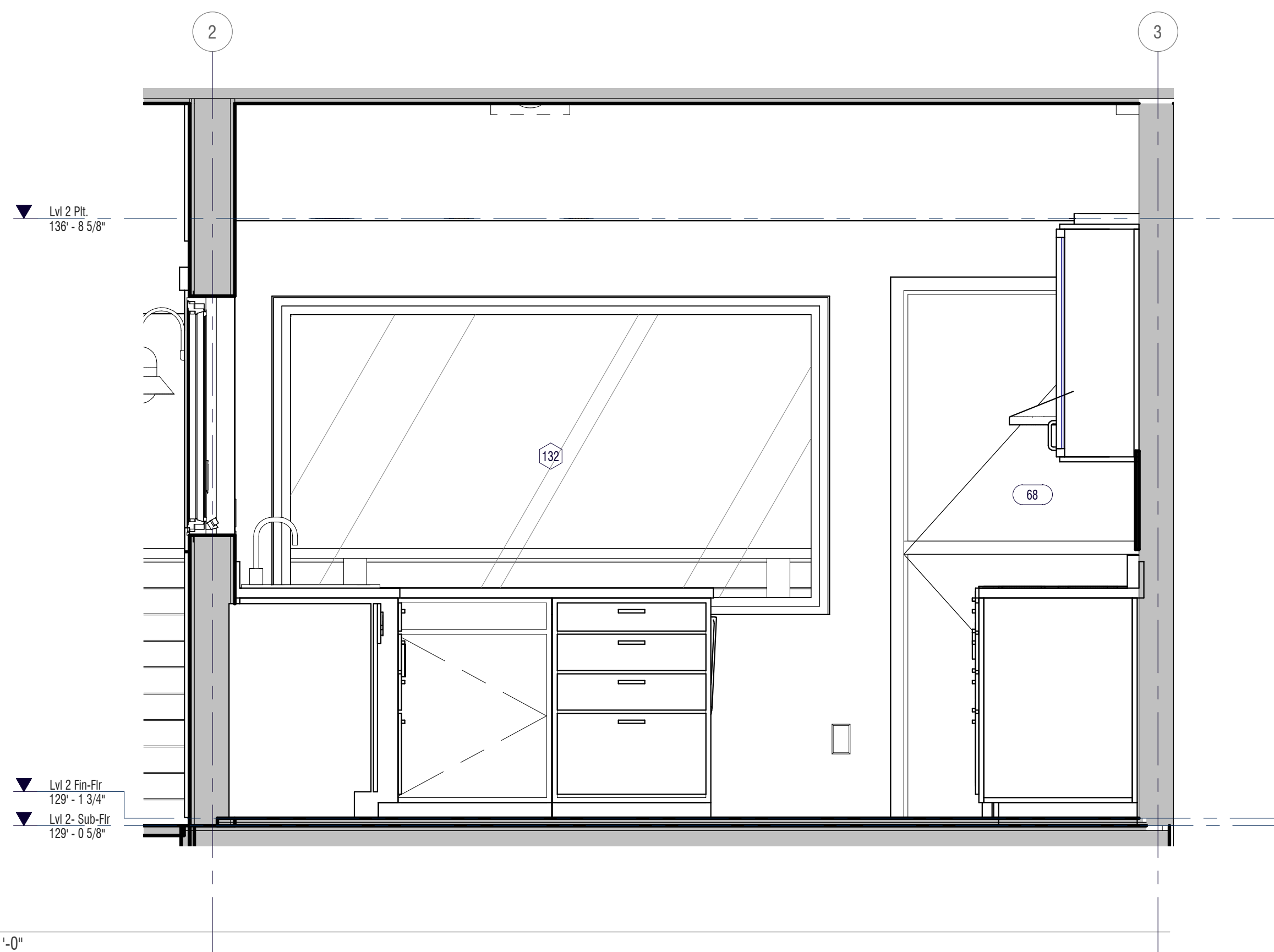
3 2E
3/4" = 1'-0"



2 2W
3/4" = 1'-0"



4 2S
3/4" = 1'-0"

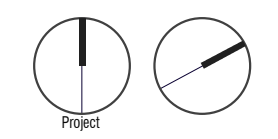


1 2N
3/4" = 1'-0"

the LAURITZEN Family

836 park ave.
Project OUTLAW
GARAGE + ADU

836 Park Ave
Moss Beach



INTERIOR ELEVATIONS

Review Phase

B	For Comment	22SEP22
No.:	REVISION	DATE
Building ID:	Garage + ADU	

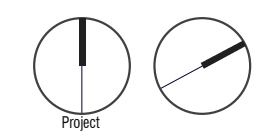
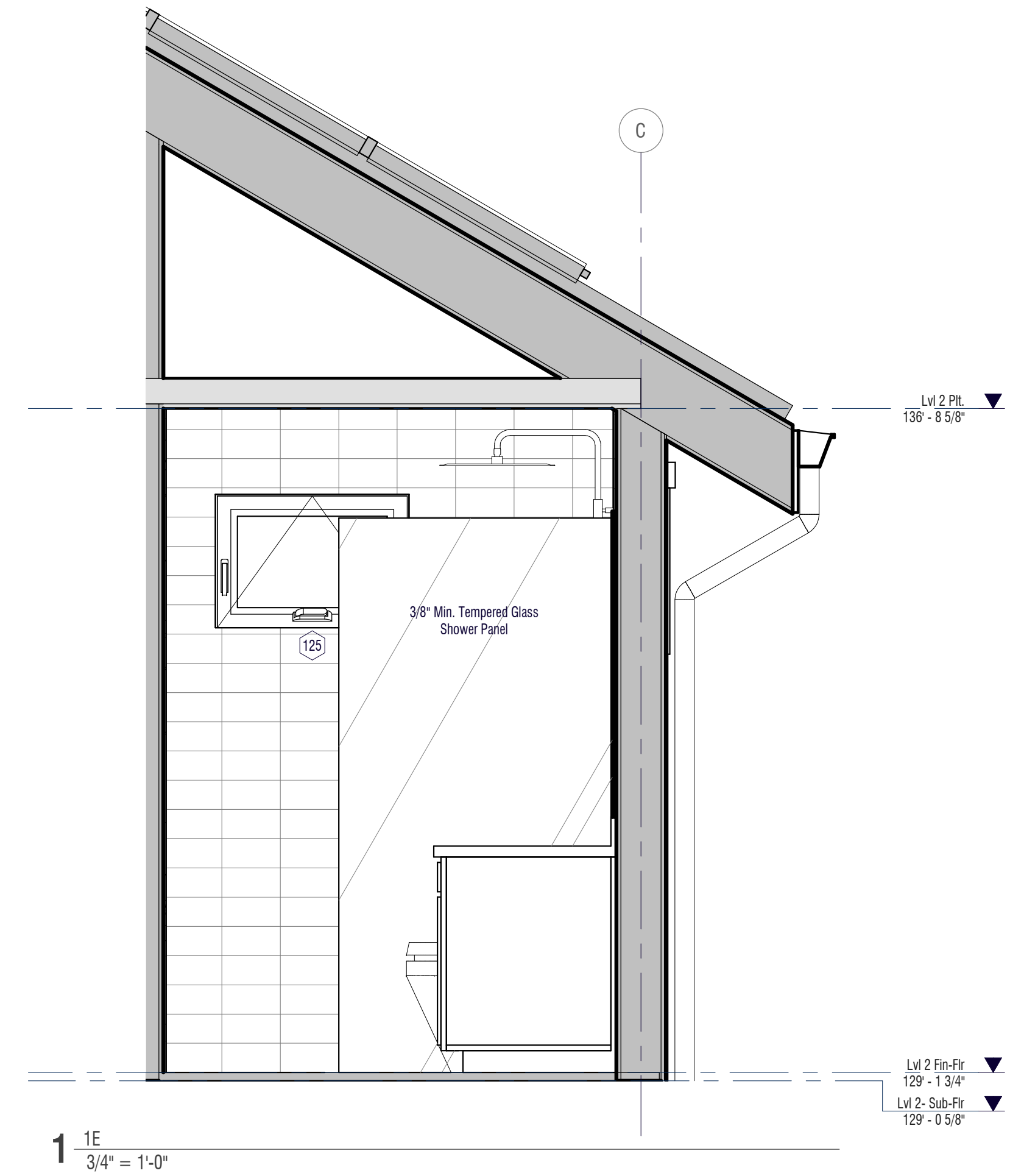
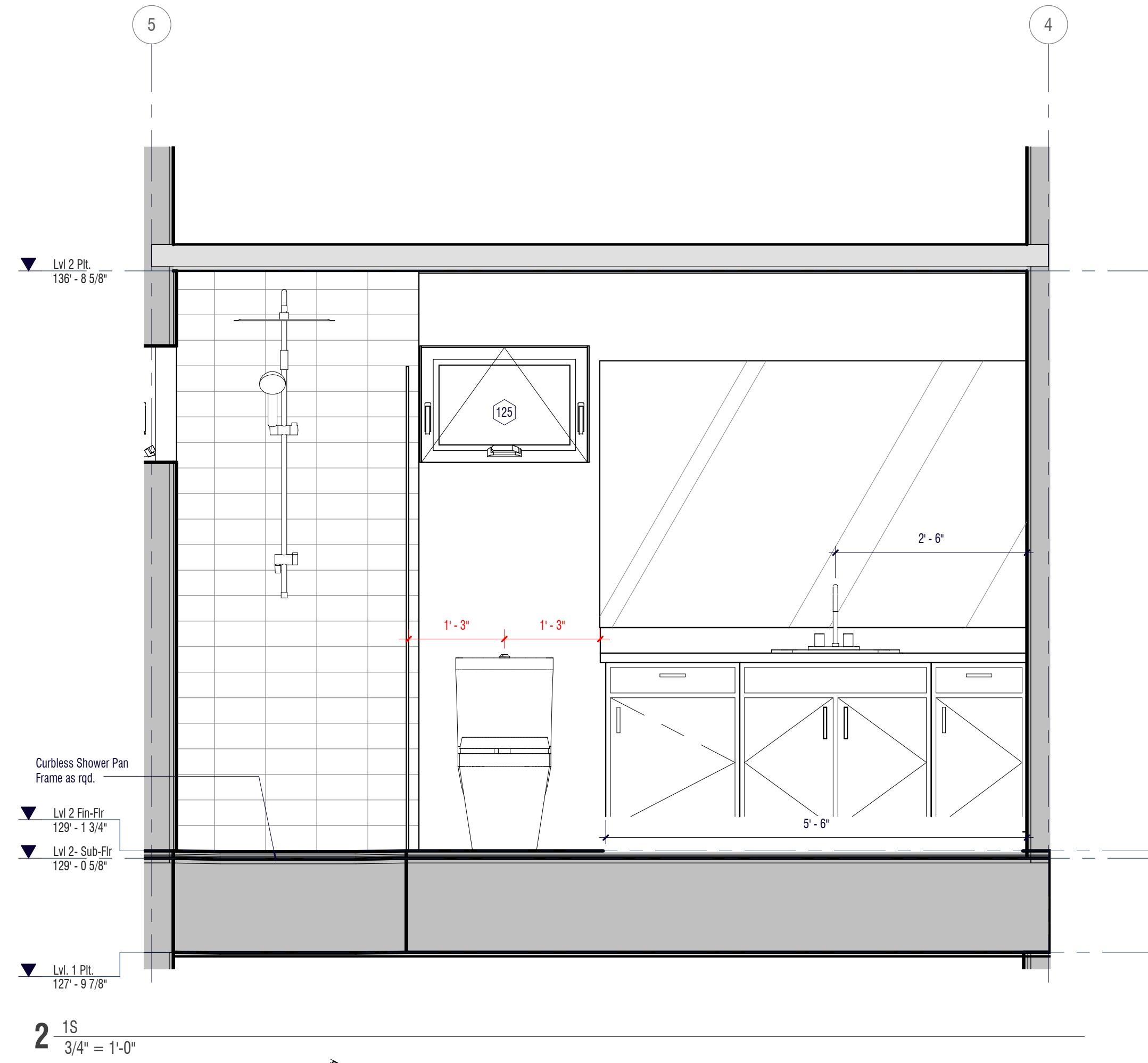
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Sheet No.:
Project Number: 836PRK-0421-B
Date: 20.04.21

the LAURITZEN Family

836 park ave.
 Project OUTLAW
 GARAGE + ADU

836 Park Ave
 Moss Beach



INTERIOR ELEVATIONS

Review Phase

No.	For Comment	22SEP22
REVISION	REVISION	DATE
B		

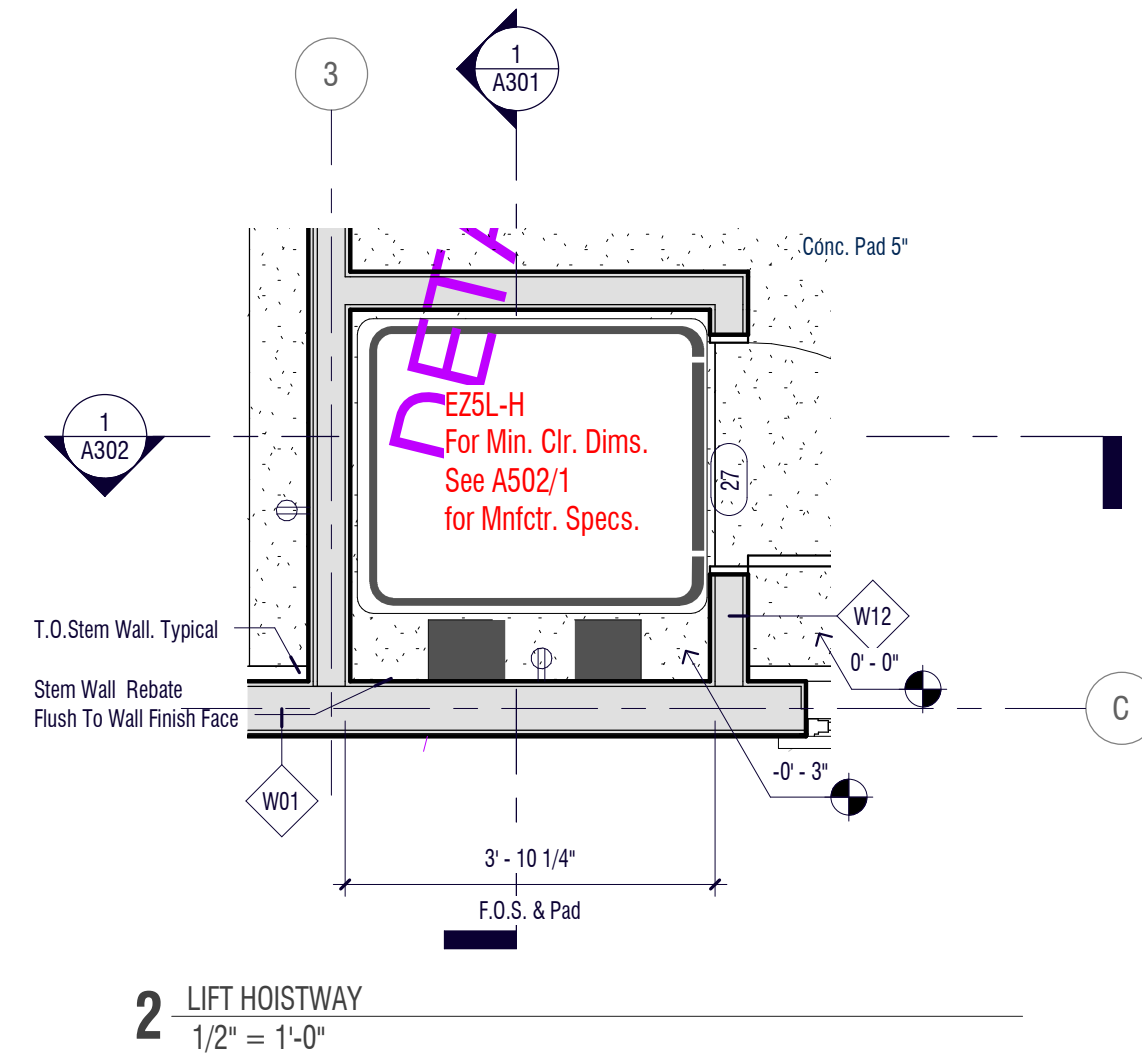
Building ID.: Garage + ADU

Sheet No.: **A402**
 Project Number: 836PRK-0421-B
 Date: 20.04.21

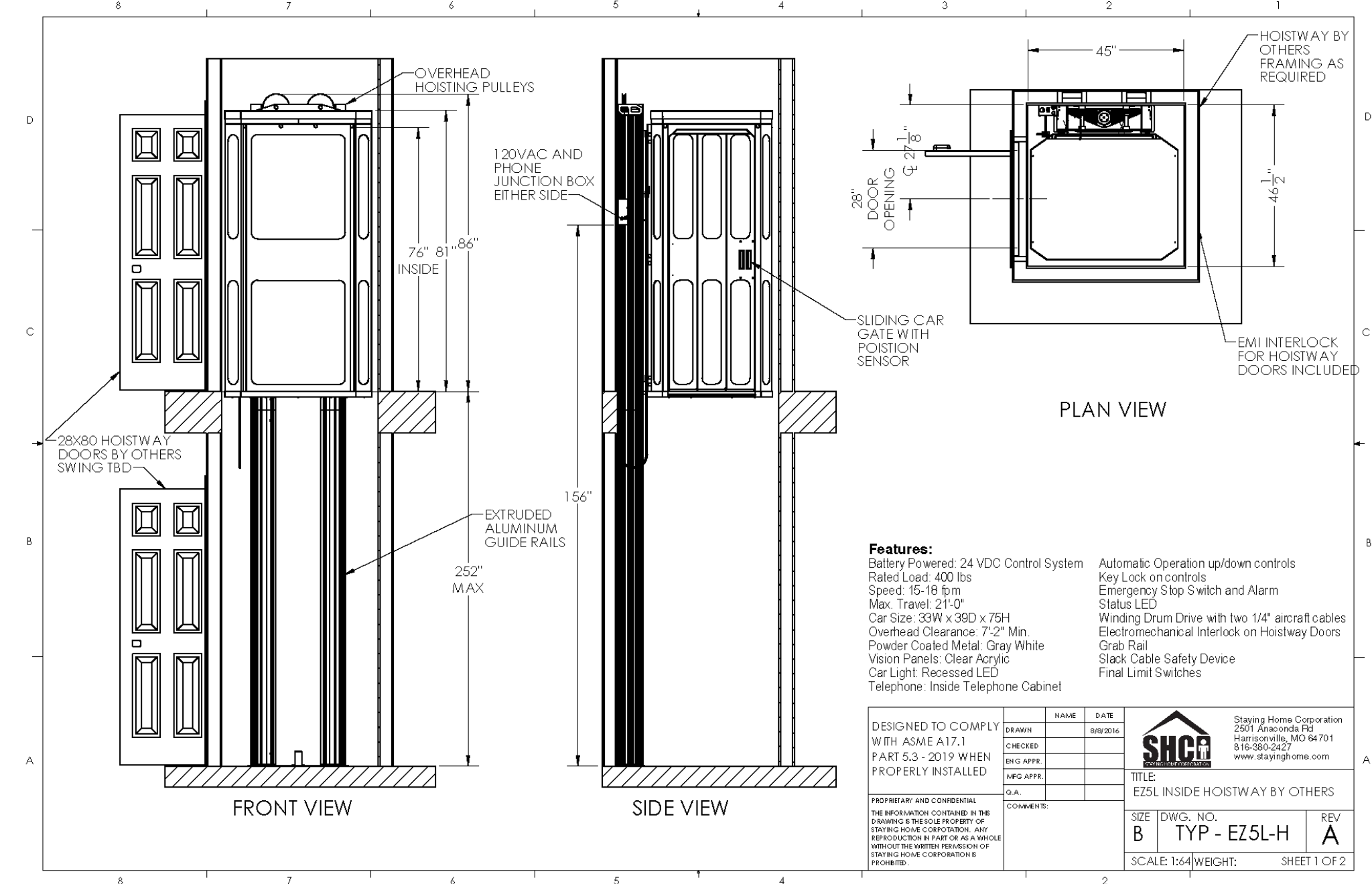
the LAURITZEN Family

836 park ave.
Project OUTLAW
GARAGE + ADU

836 Park Ave
Morris Beach



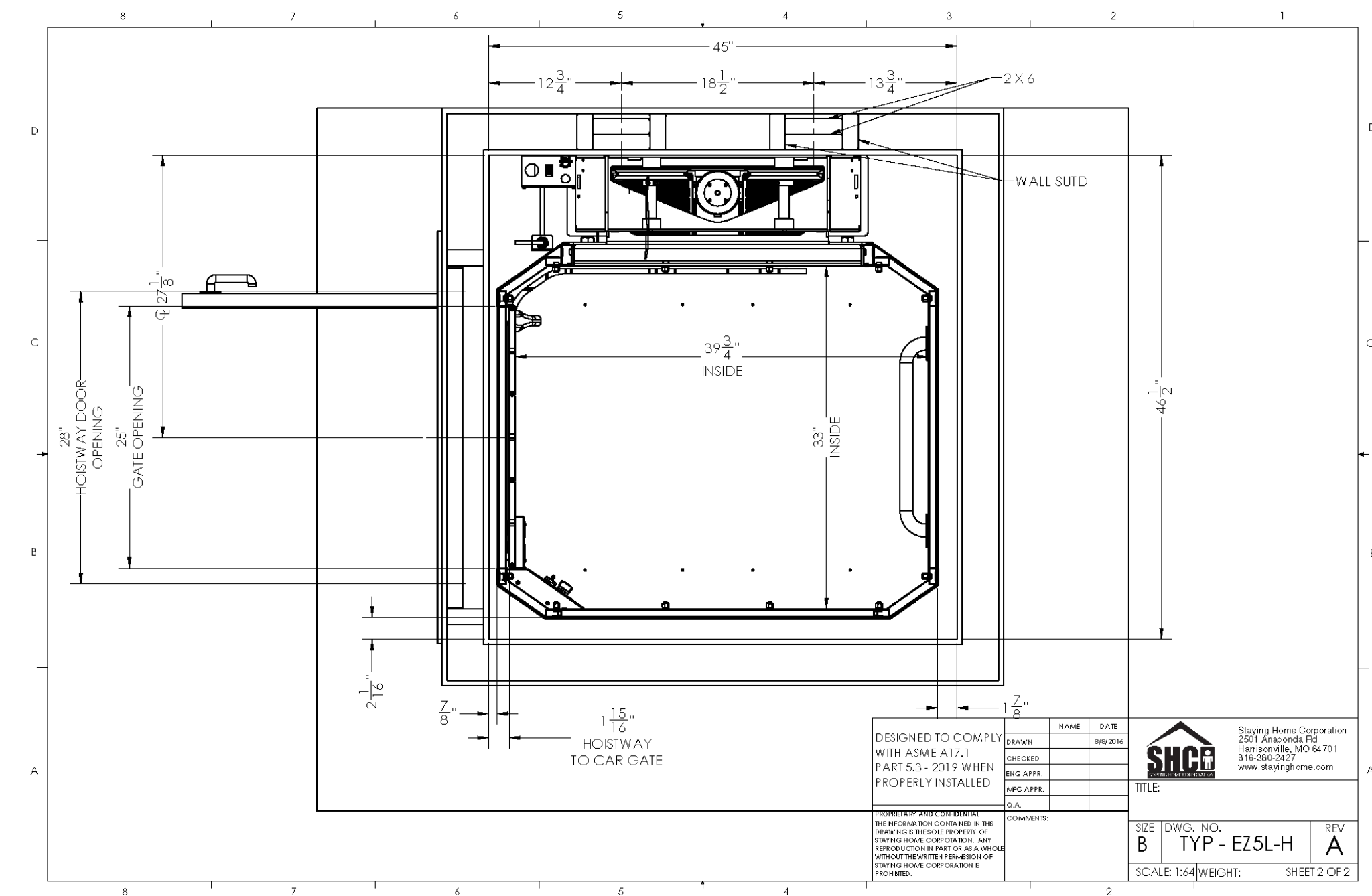
2 LIFT HOISTWAY
1/2\" = 1'-0"



Features:
Battery Powered 24 VDC Control System
Rated Load 400 lbs
Speed 15-18 fpm
Max Travel 21' 0"
Car Size 36\" x 36\" x 75H
Overhead Clearance 7' 2\" Min
Powder Coated Metal, Gray White
Vision Panels: Clear Acrylic
Car Light: recessed LED
Telephone: Inside Telephone Cabinet

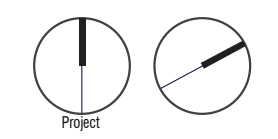
Automatic Operation up/down controls
Key Lock on controls
Emergency Stop Switch and Alarm
Status LED
Winding Drum Drive with two 1/4\" aircraft cables
Electromechanical Interlock on Hoistway Doors
Grab Rail
 Slack Cable Safety Device
Final Limit Switches

DESIGNED TO COMPLY WITH ASME A17.1 PART 5.3 - 2019 WHEN PROPERLY INSTALLED	NAME	DATE	SHC	SHC Home Corporation 2871 Annapolis Rd Crownsville, MD 21031 410.586.5522 www.shcgroup.com
REVISIONS AND COMMENTS	REVISION	DATE	BY	CHKD
THE INFORMATION CONTAINED IN THIS DRAWING IS THE PROPERTY OF SHC HOME CORPORATION. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR MODIFICATION OF THIS INFORMATION WITHOUT THE WRITTEN CONSENT OF SHC HOME CORPORATION IS PROHIBITED.	DATE	BY	CHKD	DATE
SEE DWG. NO.	B	TYP - EZ5L-H	REV	A
SCALE	1/64\"	WEIGHT		SHEET 1 OF 2



DESIGNED TO COMPLY WITH ASME A17.1 PART 5.3 - 2019 WHEN PROPERLY INSTALLED	NAME	DATE	SHC	SHC Home Corporation 2871 Annapolis Rd Crownsville, MD 21031 410.586.5522 www.shcgroup.com
REVISIONS AND COMMENTS	REVISION	DATE	BY	CHKD
THE INFORMATION CONTAINED IN THIS DRAWING IS THE PROPERTY OF SHC HOME CORPORATION. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR MODIFICATION OF THIS INFORMATION WITHOUT THE WRITTEN CONSENT OF SHC HOME CORPORATION IS PROHIBITED.	DATE	BY	CHKD	DATE
SEE DWG. NO.	B	TYP - EZ5L-H	REV	A
SCALE	1/64\"	WEIGHT		SHEET 2 OF 2

1 LIFT SYSTEM- SHC EZ5L-H Manufactures Drawings
N.T.S.



**ARCHITECTURAL
DETAILS**

Review Phase

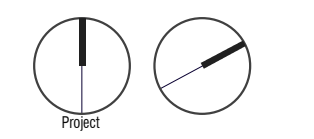
B For Comment 22SEP22
No. REVISION DATE
Building ID: Garage + ADU

Sheet No.: **A501**
Project Number: 836PRK-0421-B
Date: 20.04.21

the LAURITZEN Family

836 park ave.
Project OUTLAW
GARAGE + ADU

836 Park Ave
Moss Beach

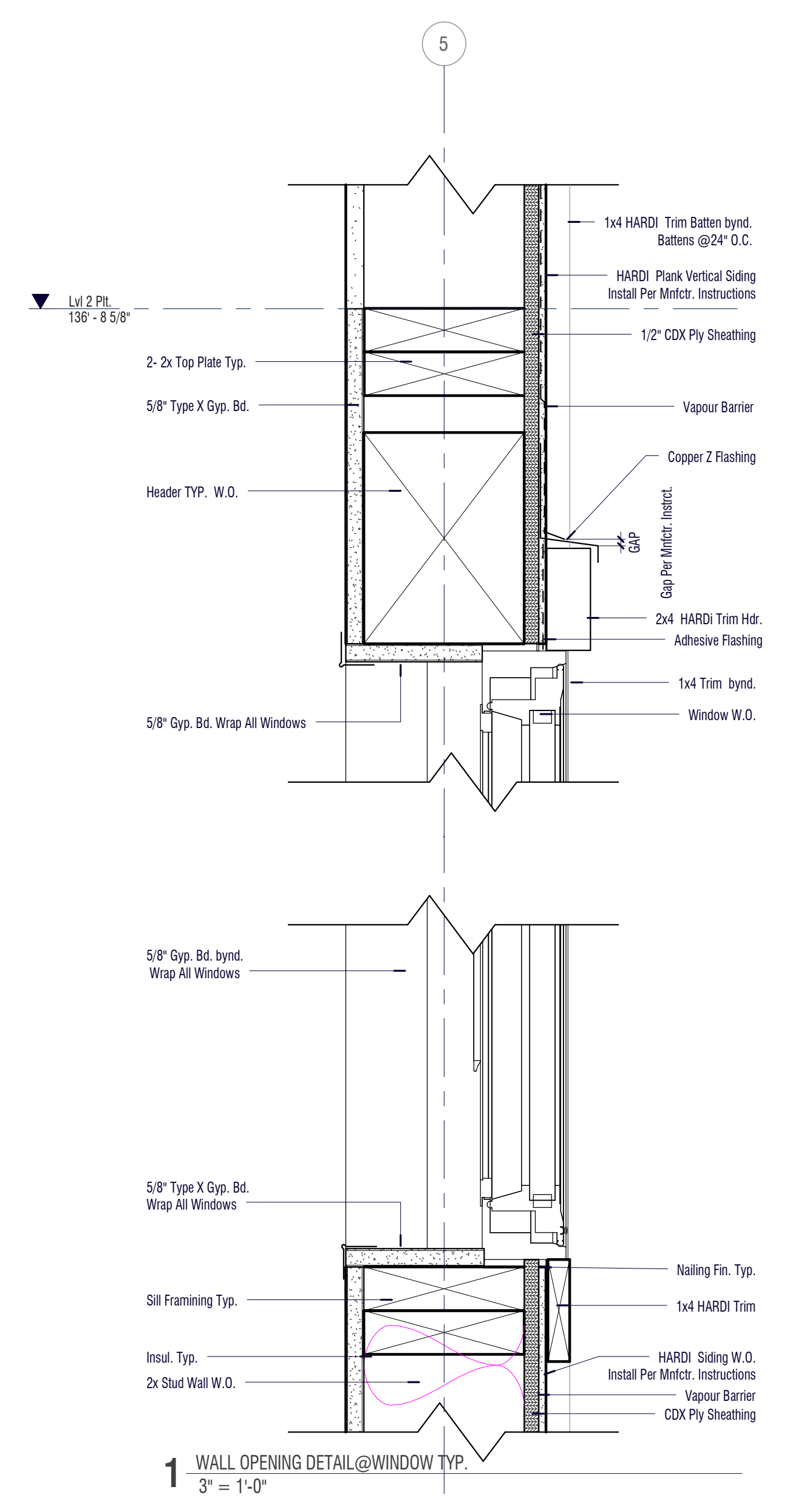
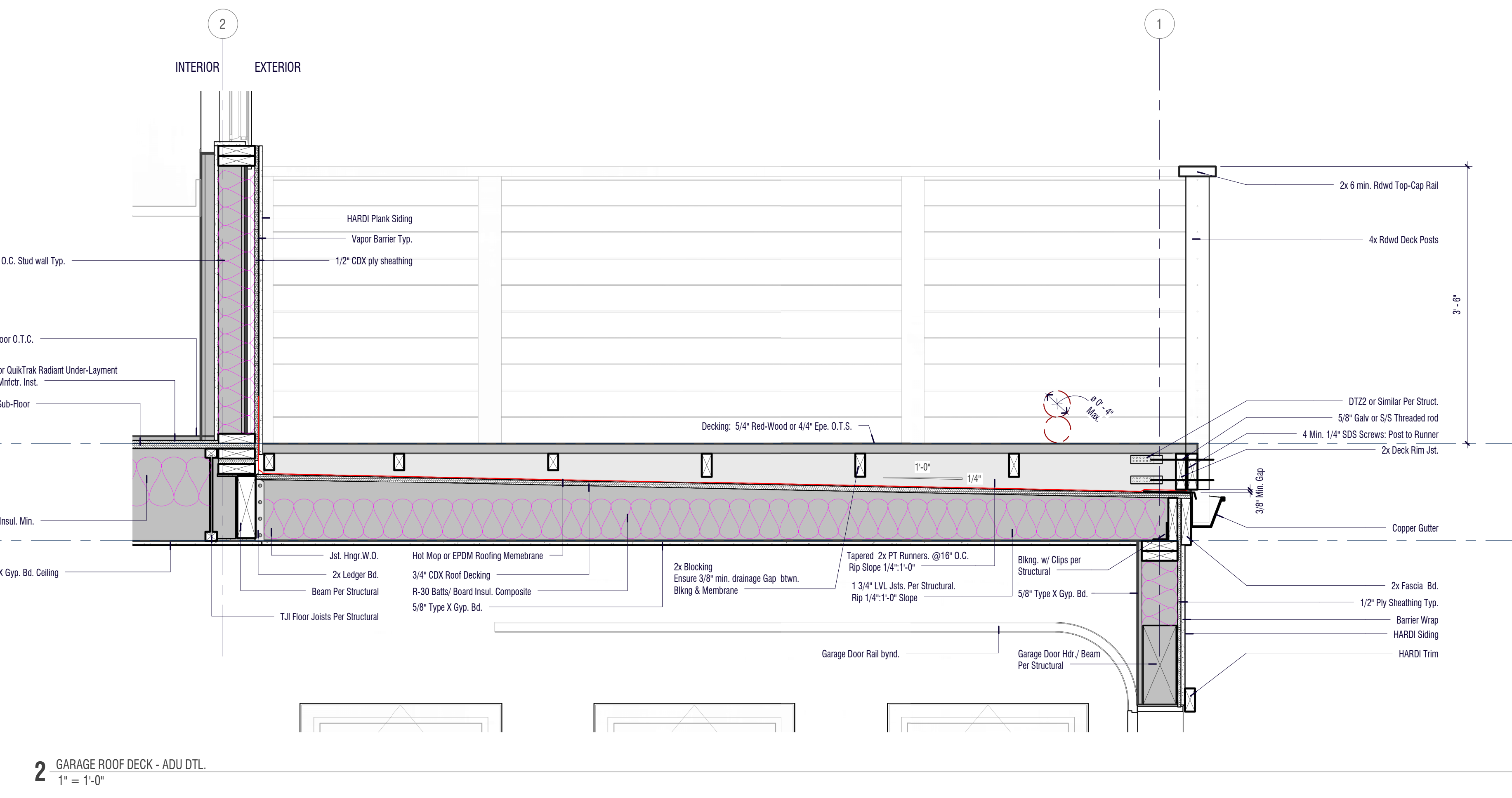
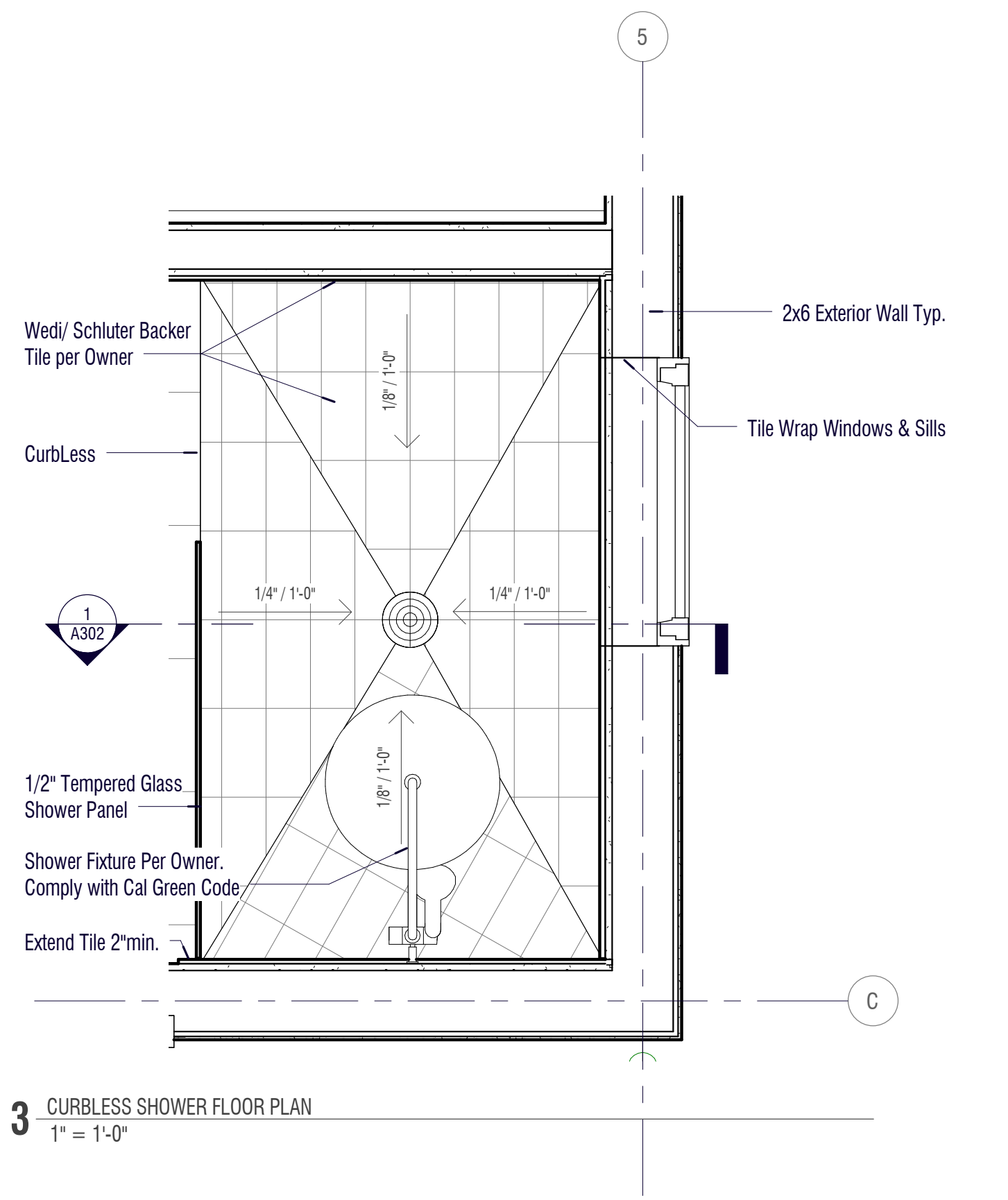


ARCHITECTURAL DETAILS

Review Phase

B	For Comment	22SEP22
No.	REVISION	DATE
Building ID:	Garage + ADU	

Sheet No.: **A502**
Project Number: 836PRK-0421-B
Date: 20.04.21



THESE PLANS AND DRAWINGS REFLECT THE DESIGNERS INTERPRETATION OF THE OF ALL CONCEPTS, IDEAS, DIMENSIONS AND CONDITIONS REQUIRED FOR THE PROJECT. IT IS THE RESPONSIBILITY OF THE OWNER, CONTRACTORS, TRADESMEN TO VERIFY ALL EXISTING AND FORESEEABLE CONDITIONS, DIMENSIONS AND SHALL REPORT ANY IRREGULARITIES TO THE DESIGNER BEFORE PROCEEDING WITH ANY WORK. THESE PLANS REMAIN PROPERTY OF THE DESIGNER AND MAY NOT BE REPRODUCED, COPIED OR TRANSMITTED IN ANY WAY WITHOUT THE PRIOR WRITTEN CONSENT OF THE DESIGNER.

the LAURITZEN Family

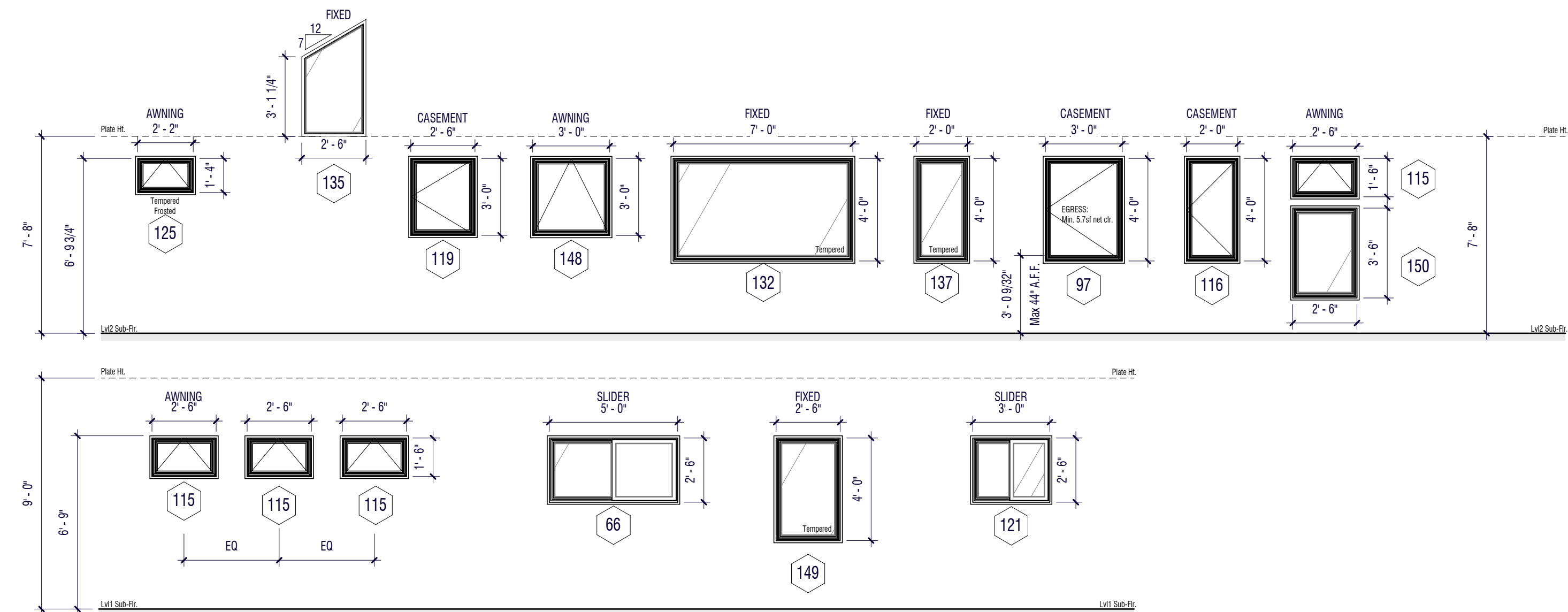
836 park ave.
 Project OUTLAW
 GARAGE + ADU

836 Park Ave
 Moss Beach

DOOR SCHEDULE										
Location	Level	ID	Dimensions		Count	Manufacturer	Model	Type Description	Fire Rating	Comments
			Width	Height						
Lvl1 Grg Flr.										
GARAGE	Lvl1 Grg Flr.	10	3' - 0"	6' - 8"	1			Door-Exterior-Single-Entry-Half Flat Glass-Wood Clad: 36" x 80"		
GARAGE	Lvl1 Grg Flr.	27	2' - 4"	6' - 8"	1			Door-Interior-Single-1 Panel-Wood: 28" x 80" 20 MIN.	20 MIN.	Self Closing
GARAGE	Lvl1 Grg Flr.	46	18' - 0"	7' - 0"	1			Door-Garage-Flush_Panel: Ik-216" x 84"		
Lvl 2 Fin-Fir										
ADU	Lvl 2 Fin-Fir	17	3' - 0"	7' - 0"	1			Door-Interior-Single-Pocket-2_Panel-Wood: 3684		
ADU	Lvl 2 Fin-Fir	19	2' - 4"	6' - 8"	1			Door-Interior-Single-Pocket-2_Panel-Wood: 2880		
ADU	Lvl 2 Fin-Fir	26	2' - 4"	6' - 8"	1			Door-Interior-Single-1_Panel-Wood: 28" x 80"		
ADU	Lvl 2 Fin-Fir	26	2' - 4"	6' - 8"	1			Door-Interior-Single-1_Panel-Wood: 28" x 80"		
ADU	Lvl 2 Fin-Fir	33	3' - 0"	7' - 0"	1			Bi-Fold_Panel_267: 36" x 84"		
ADU	Lvl 2 Fin-Fir	35	2' - 6"	7' - 0"	1			Bi-Fold_Panel_267: 30" x 84"		
ADU	Lvl 2 Fin-Fir	40	2' - 6"	7' - 0"	1			Door-Interior-Single-1_Panel-Wood: 30" x 84"		
ADU	Lvl 2 Fin-Fir	65	6' - 3 1/2"	6' - 7 1/2"	1	Milgard Manufacturing, Inc.	Tuscany® Series	Door-Out_Swing-Milgard-Tuscany_Series-French_Style-2_Panel: 76" x 80"		
ADU	Lvl 2 Fin-Fir	68	3' - 0"	6' - 8"	1	Jeld-Wen	383 Dutch IWP	Dutch_Door_-_Adj_Swing_1929: 3'-0" x 6'-8"		
TOTAL DOOR COUNT:					12					

WINDOW SCHEDULE									
Location	Level	Type Mark	Count	Dimensions		Head Height	Operation	Comments	
				Width	Height				
Lvl1 Grg Flr.									
Garage	Lvl1 Grg Flr.	66	3	5' - 0"	2' - 6"	6' - 9"	Horizontal Slider		
Garage	Lvl1 Grg Flr.	115	6	2' - 6"	1' - 6"	6' - 9"	Awning		
Garage	Lvl1 Grg Flr.	121	1	3' - 0"	2' - 6"	6' - 9"	Horizontal Slider		
Garage	Lvl1 Grg Flr.	149	1	2' - 6"	4' - 0"	6' - 9"	Fixed Picture	Tempered Glazing/ Frosted Glazing	
Lvl 2- Sub-Fir									
ADU	Lvl 2- Sub-Fir	97	1	3' - 0"	4' - 0"	6' - 8"	Casement	Egress Per CBC 1030 & CRC 310.2	
ADU	Lvl 2- Sub-Fir	115	1	2' - 6"	1' - 6"	6' - 8"	Awning	Tempered Glazing	
ADU	Lvl 2- Sub-Fir	116	1	2' - 0"	4' - 0"	6' - 8"	Casement		
ADU	Lvl 2- Sub-Fir	119	3	2' - 6"	3' - 0"	6' - 8"	Casement		
ADU	Lvl 2- Sub-Fir	125	2	2' - 2"	1' - 6"	6' - 8"	Awning	Tempered Glazing/ Frosted Glazing	
ADU	Lvl 2- Sub-Fir	132	1	7' - 0"	4' - 0"	6' - 8"	Fixed Picture	Tempered Glazing	
ADU	Lvl 2- Sub-Fir	137	1	2' - 0"	4' - 0"	6' - 8"	Fixed Picture	Tempered Glazing	
ADU	Lvl 2- Sub-Fir	148	2	3' - 0"	3' - 0"	6' - 8"	Awning		
ADU	Lvl 2- Sub-Fir	150	1	2' - 6"	3' - 6"	4' - 10 1/2"	Fixed Picture	Tempered Glazing/ Frosted Glazing	
Lvl 2 Pit.									
ADU	Lvl 2 Pit.	135	1	2' - 6"	3' - 1 1/4"	3' - 1 1/2"	Fixed	Tempered Glazing	
TOTAL WINDOW COUNT:			25						

GARAGE & ADU WINDOW LEGEND



DOOR & WINDOW NOTES

- Owner to confirm Window Manufacturer, Model. Owner to ensure that all windows are applicable to the project and shall claim full responsibility for ensuring correct Materials, Finish, Installation, Handing, Operation, etc. The Designer shall not be responsible and/ or accountable for any communications with the Window/ Door Manufacturer.
- All Interior Doors and Door Jambs to be Shaker Single Panel Pre-Primed paint-ready and finished per finish schedule
- All Windows and Doors shall comply with the relevant sections of Title 24 of the C.E.C, the C.B.C, and the C.F.C.

4. Glazing Notes
Installation Standards (CBC 104.9 and CRC R104.9) All windows shall be installed in accordance with the manufacturer's requirements (including new flashing).

Efficiency Standards (CEES 150.2(b))
 Newly installed windows shall be a maximum U-factor of 0.30 and a maximum Solar Heat Gain Coefficient (SHGC) of 0.23.

Emergency Escape (Egress) Windows in Sleeping Rooms (CBC 1030 and CRC R310.2)
 At least one window in each bedroom is required to meet the following requirements. However, if the existing rough opening is not altered or enlarged, then the replacement window need not comply.

- Minimum net 5.7 sf of openable area,
- Minimum 5.0 sf of openable area, at ground floor
- Minimum net 20" clear width when open
- Minimum net 24" clear height when open
- Maximum height of 44" from the finished floor to the bottom of the clear opening

Tempered Glazing (CBC 2406 and CRC R308)
 Tempered glazing shall be installed in the following locations:
 • Within a 2' arc of either the edge of a door and where the bottom exposed edge of the glazing is less than 60" above the walking surface.
 • Adjacent to a bottom stair landing where glazing is less than 36 inches above the landing and within 60 inches horizontally of the landing.
 • Adjacent to stairs where glazing is located less than 36 inches above the plane of the adjacent walking surface.
 • Within a portion of wall enclosing a tub/shower where the bottom exposed edge of the glazing is less than 60 inches above the standing surface and drain inlet.
 • Within 60 inches of a tub/shower where the glazing is less than 60 inches above the walking surface.
 • Any glazing meeting all the following conditions:
 Ø Exposed area of an individual pane greater than 9 square feet
 Ø Exposed bottom edge is less than 18 inches above the finished floor
 Ø Exposed top edge is greater than 36 inches above the finished floor
 Ø Where a walking surface is within 36 inches horizontally of the glazing

Where required, tempered glazing (except tempered spandrel glass) shall be permanently identified by a manufacturer marking that is permanently applied and cannot be removed without being destroyed (e.g. sand blasted, acid etched, ceramic fired, laser etched, or embossed). A label shall be permitted in lieu of the manufacturer's designation.

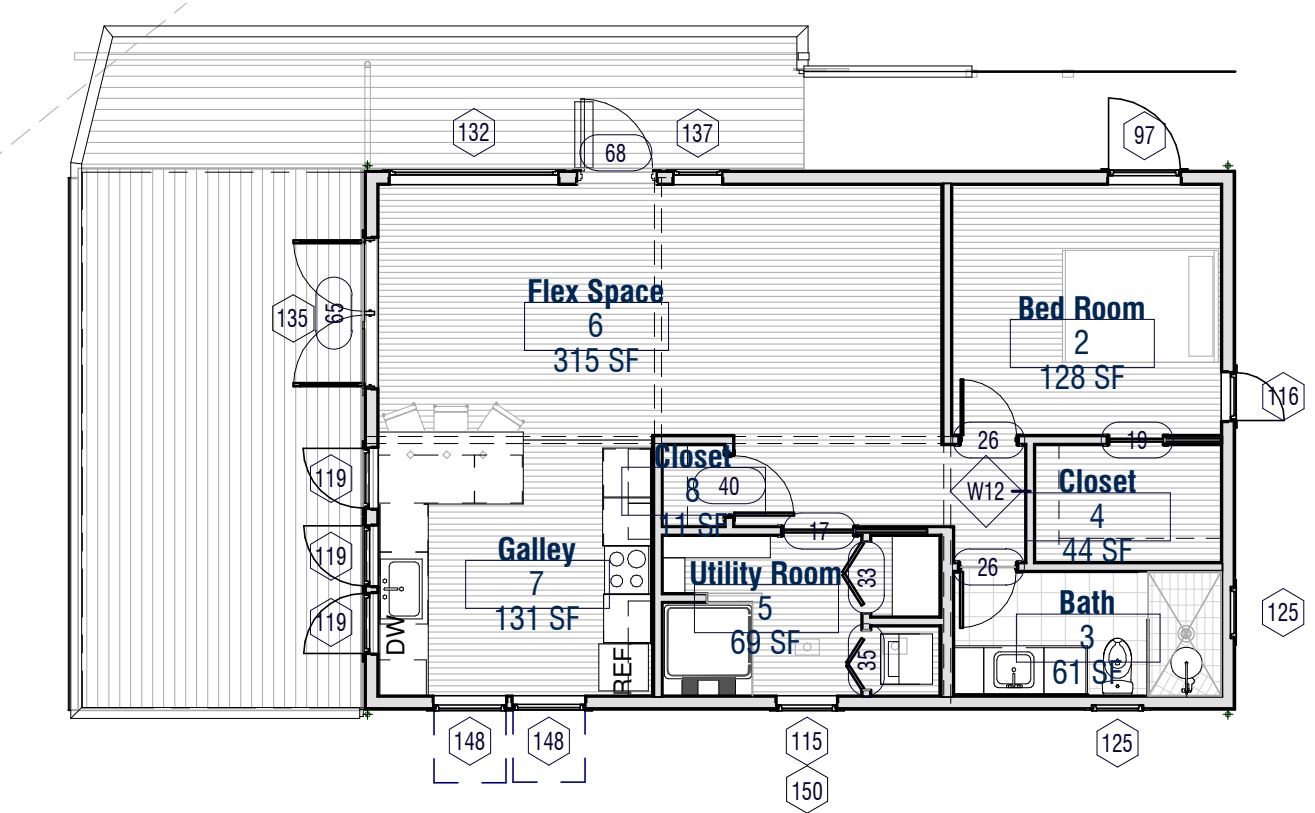
INTERIOR FINISH SCHEDULE							
Room No.	Name	Floor Finish	Wall Finish	Ceiling Finish	Base Finish	Door Trim	Window Trim
1	Garage	Polished Concrete	Lvl3 / Primer	Lvl3 Primer	None	MC433 FJP	Gyp. Wrapped
2	Bed Room	Hardwood	Lvl5 Paint/	Lvl5/ Paint	MC508 FJP	MC433 FJP	Gyp. Wrapped
3	Bath	Tile	Tile/ Lvl5 + Paint	Lvl5/ Paint	Tile	MC433 FJP	Gyp/ Tile Wrapped
4	Closet	Hardwood	Lvl5 Paint/	Lvl5/ Paint	MC508 FJP	MC433 FJP	None
5	Utility Room	Hardwood	Lvl5 Paint/	Lvl5/ Paint	MC508 FJP	MC433 FJP	Gyp. Wrapped
6	Flex Space	Hardwood	Lvl5 Paint/	Lvl5/ Paint	MC508 FJP	MC433 FJP	Gyp. Wrapped
7	Galley	Hardwood	Tile/ Lvl5 + Paint	Lvl5/ Paint	MC508 FJP	MC433 FJP	Gyp/ Tile Wrapped
8	Closet	Hardwood	Tile/ Lvl5 + Paint	Lvl5/ Paint	MC508 FJP	MC433 FJP	None

FINISH NOTES:

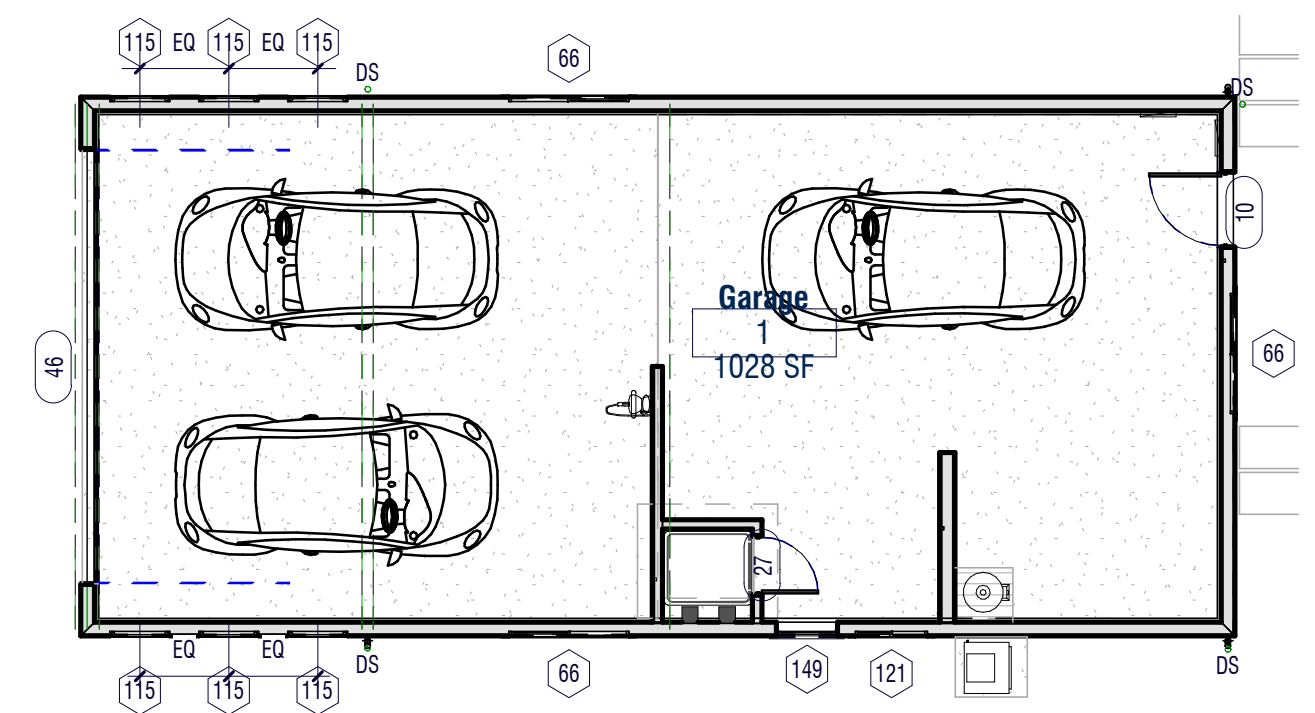
- Flooring:** All Flooring T.B.C. by the Owner and shall be compatible with the Uponor Radiant Underlayment and provided radiant heating. It shall be the owners responsibility to check compatibility with the flooring and sub-floor heating values. All tile brands, color, size, finish, style, material to be selected, specified and approved by Owner prior to product ordering/purchasing.
- Wall Finish:** Level 5 Finish. No imperfections under any lighting conditions. All imperfections will need to be addressed prior to sign-off by the Owner.
- Paint:** All finished surfaces shall be Primed 2 coats min. and Finish Paint 2 coats Min. Paint job will be deemed complete when the Owner has done a complete walk-thru after the final inspection for the job has been done. Any touch-ups to be done will need to be completed before Owner signs off on the paint contract as Complete.
- Colors:** Exterior Paint Mntctr. and Colors as noted on the Elevations Sheet A201. Interior Paint to be Kelly More Swiss Coffee White or per Owners request. Walls, Ceilings to be flat finish. Doors, Jambs, Trim, Moulding to be Satin Finish.
- Trim & Molding:** Base Molding MC508 FJP. Door trim MC433 FJP. Wrap all windows with 5/8 Gyp. Bd. and corner. All windows in Shower or on Tile surface walls to be wrapped in matching tile. Shower Windows, kitchen Windows over Backsplash, etc.
- Exterior Window and Door Trim to be Hardi Cementeous Trim Boards. Header Trim boards to be 1 1/2". Side and Sill Trim boards to be 3/4"

ABBREVIATIONS:

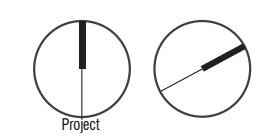
Cmnt. Bd.: Cementeous Backer Board. e.g Hardi Backer, etc.
 Schlutr: Schluter, WEDI Bd. or similar tile backer.



2 Lvl 2 Window-Door ID Layout
 1/8" = 1'-0"



1 Lvl 1 Window-Door ID Layout
 1/8" = 1'-0"



SCHEDULES

Review Phase

B For Comment 22SEP22
 No.: REVISION DATE
 Building ID: Garage + ADU

Sheet No.: **A601**
 Project Number: 836PRK-0421-B
 Date: 20.04.21

REVISIONS	BY
△ JUN. 6, 2023	

KEMCON ENGINEERING ASSOCIATES
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 1111 BAY ST. #200
 MOSS BEACH, CA 94038
 650.343.8310
 engineers@kemcon.com



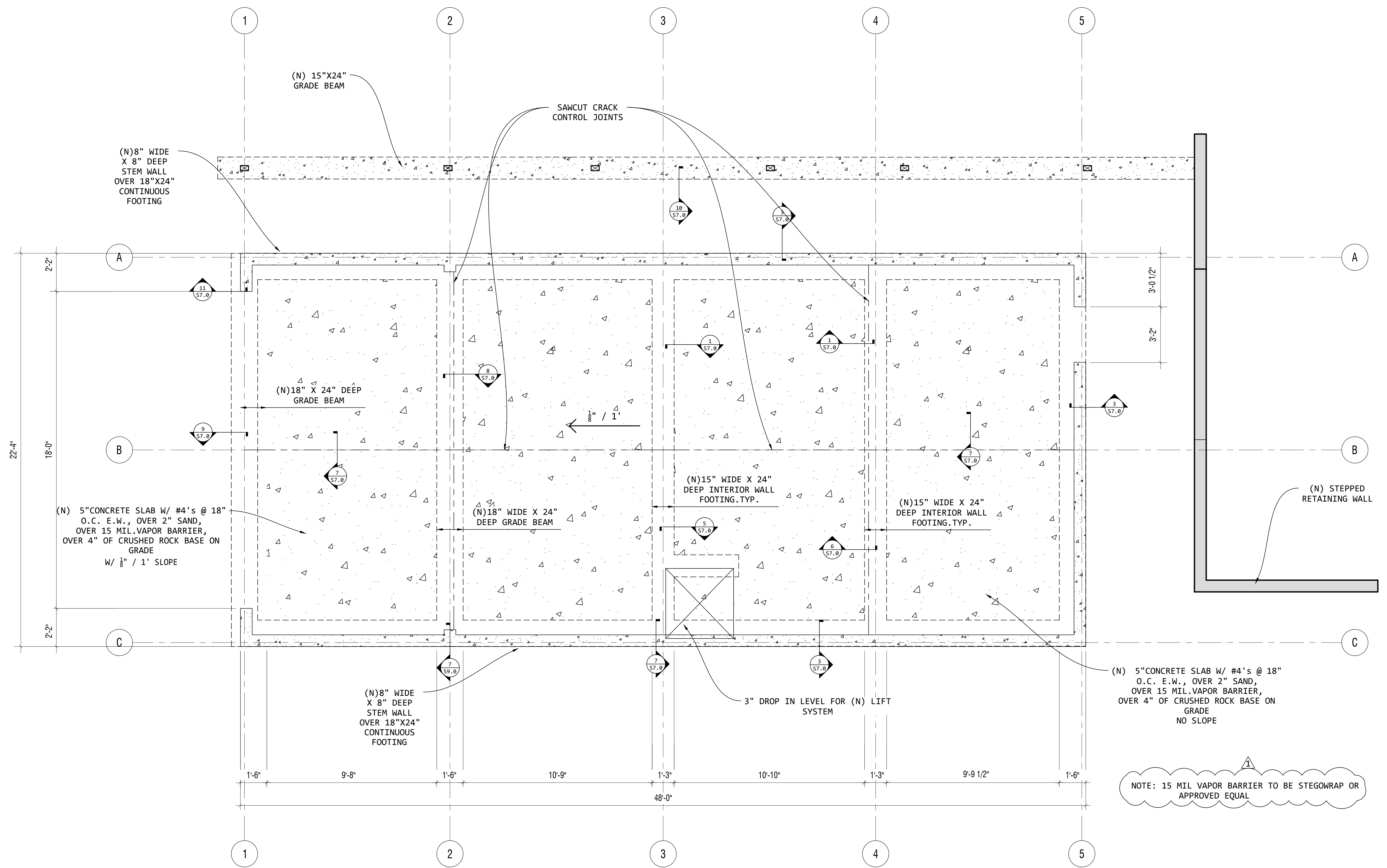
7/18/2023

NEW ADU
 836 PARK AVE.
 MOSS BEACH, CA. 94038

FOUNDATION PLAN

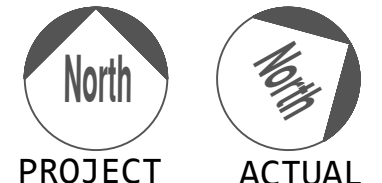
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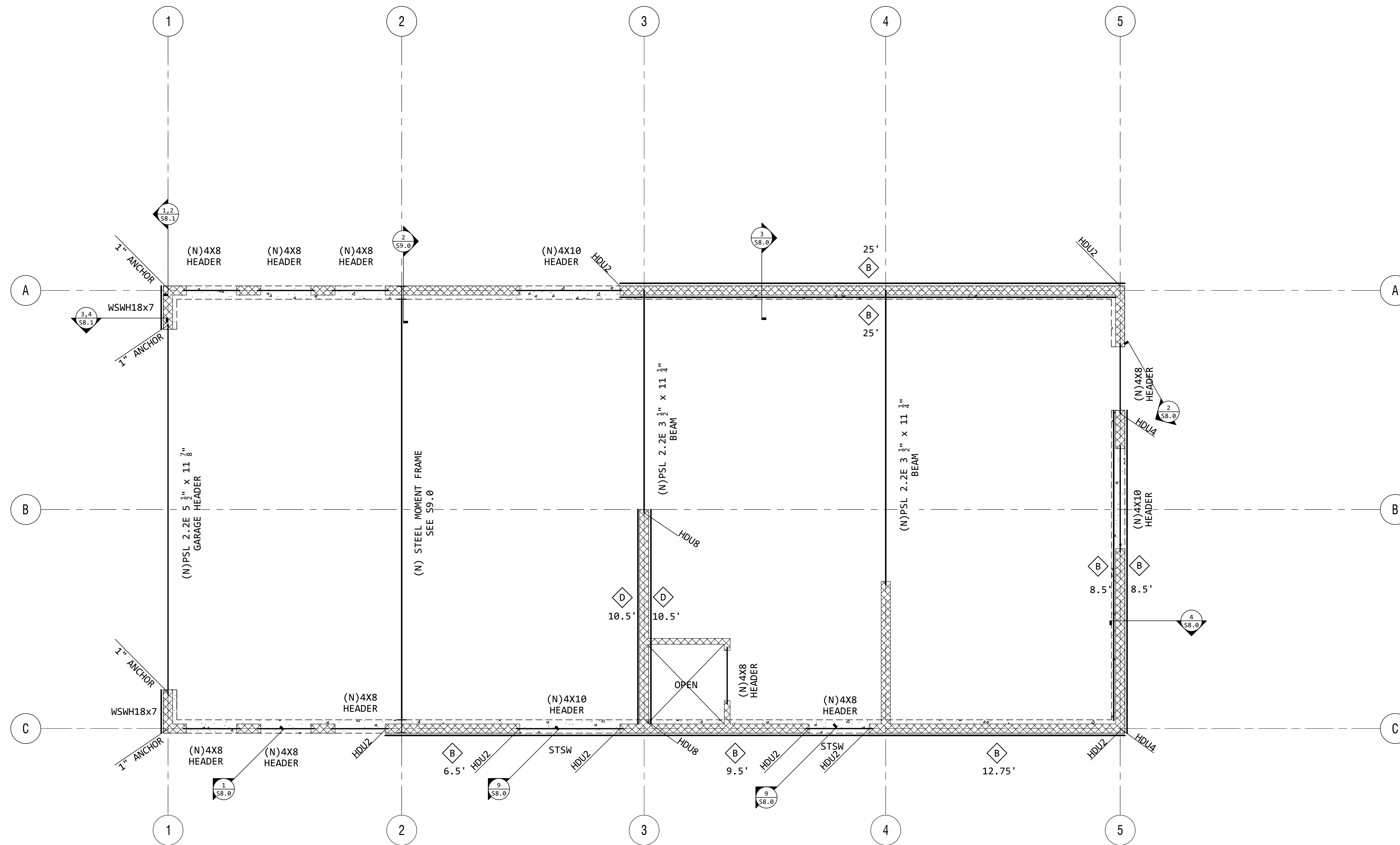
S1.0



1 FOUNDATION PLAN

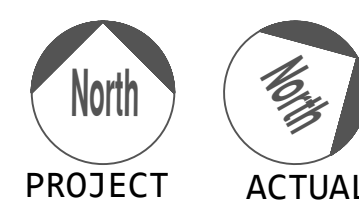
Scale: 3/8" = 1'-0"





1 GARAGE LEVEL WALL PLAN

Scale: 3/8" = 1'-0"



REVISIONS	BY

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 SAN DIEGO, CA 92121
 619-444-8310
 engineers@kemcon.com



7/18/2023

NEW ADU
 836 PARK AVE.
 MOSS BEACH, CA. 94038

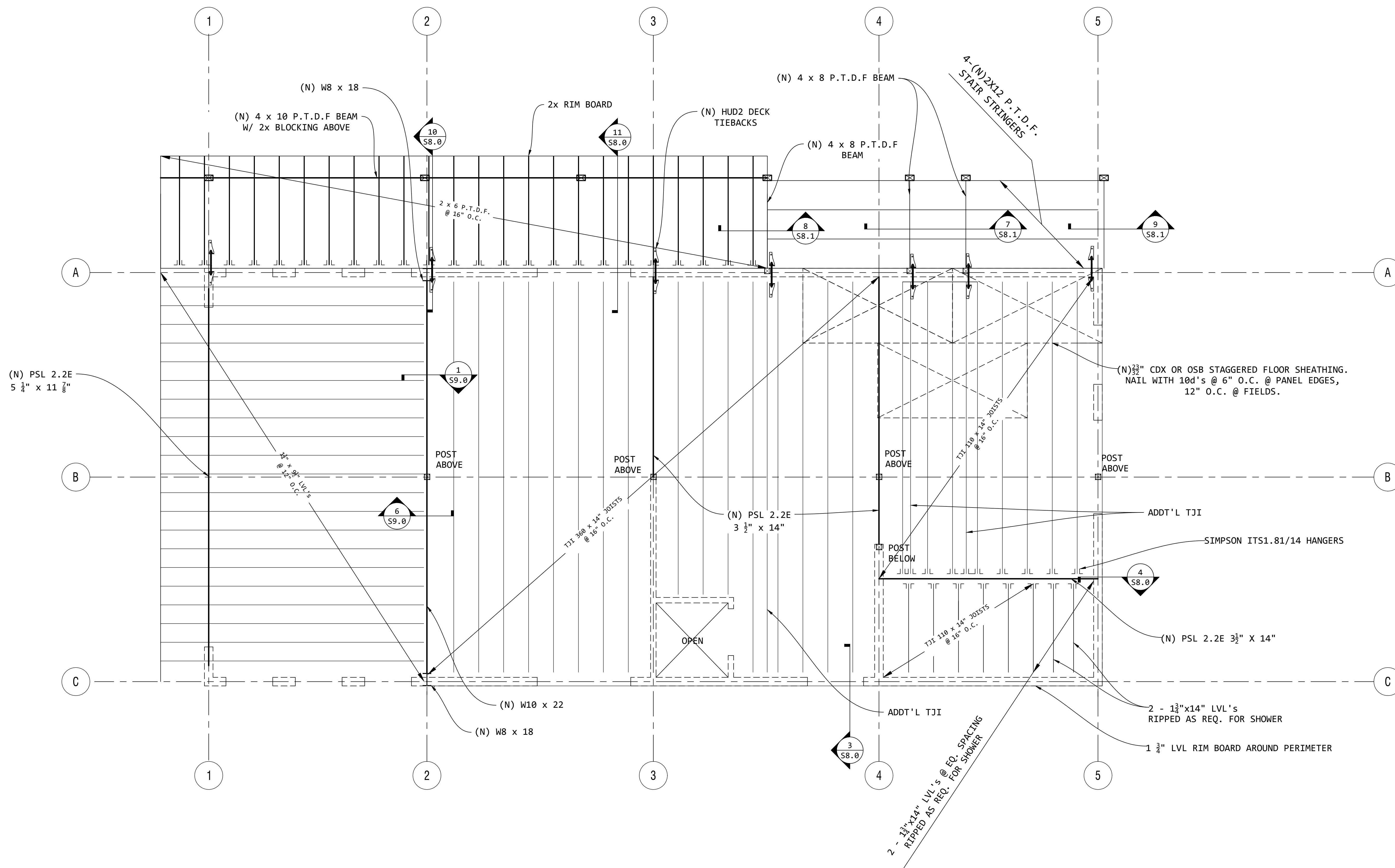
GARAGE LEVEL
 WALL PLAN

DATE: 06/30/2022
 SCALE: AS SHOWN
 DRAWN: J.L.
 SHEET NO:

S2.0

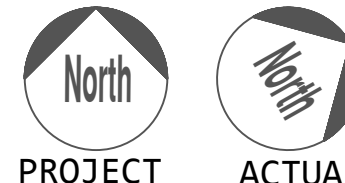
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LAST SAVED BY: Arturo



1 2ND FLOOR FRAMING PLAN W/ WALLS BELOW

Scale: 3/8" = 1'-0"



REVISIONS BY

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 CIVIL AND STRUCTURAL ENGINEERS
 111184E, CA 94038
 650-343-8310
 engineers@kemcon.com



7/18/2023

NEW ADU
 836 PARK AVE.
 MOSS BEACH, CA. 94038

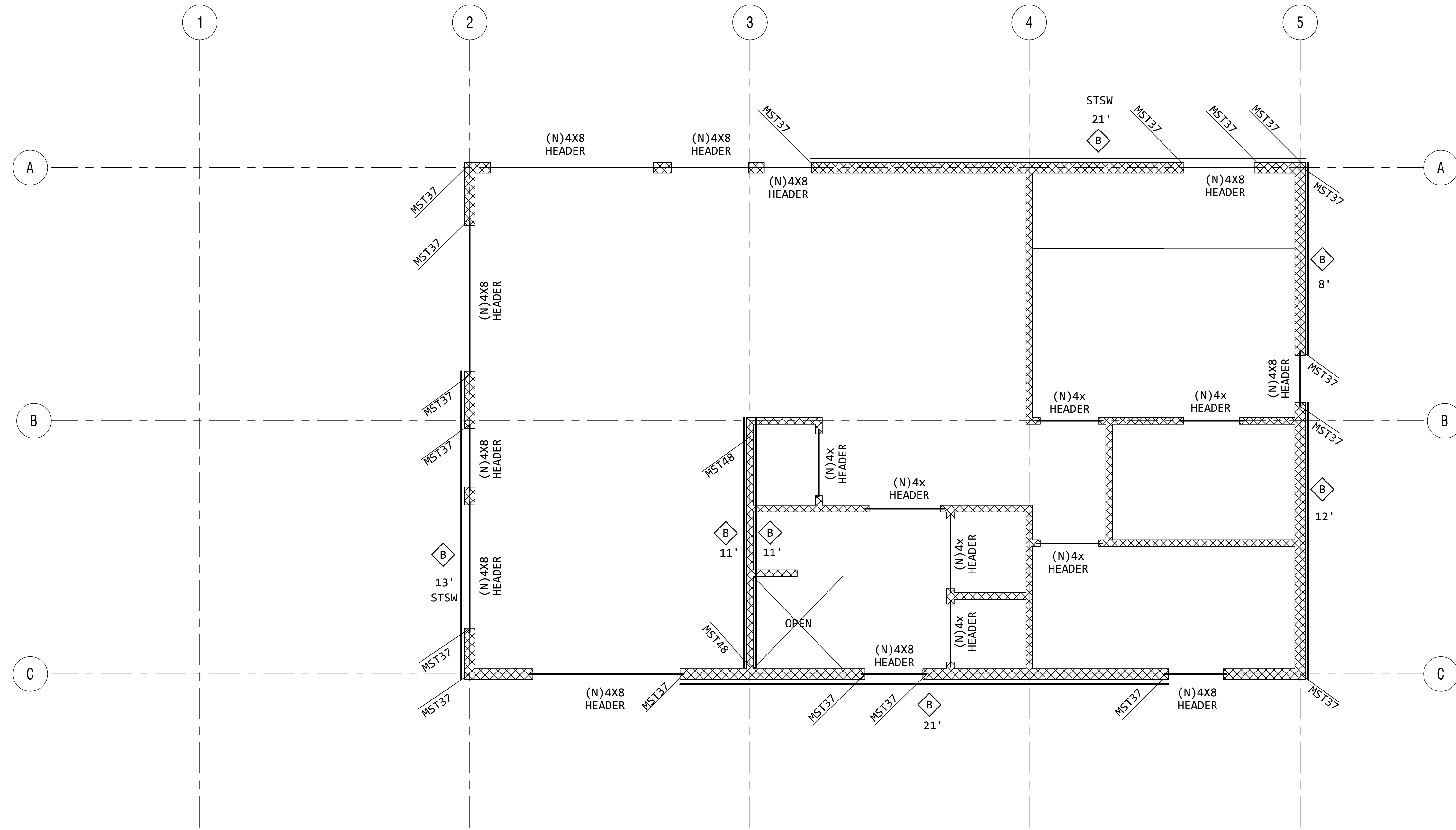
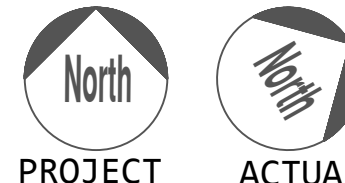
2ND FLOOR
 FRAMING PLAN
 W/ WALLS BELOW

DATE: 06/30/2022
 SCALE: AS SHOWN
 DRAWN: JLL
 SHEET NO:

S3.0

1 2ND FLOOR WALL PLAN

Scale: 3/8" = 1'-0"



REVISIONS	BY

KEMCON ENGINEERING ASSOCIATES
 CIVIL AND STRUCTURAL ENGINEERS
 11111 BAYVIEW BLVD., SUITE 200
 SAN DIEGO, CA 92121
 TEL: 619-444-8310
 engineers@kemcon.com



7/18/2023

NEW ADU
836 PARK AVE.
MOSS BEACH, CA. 94038

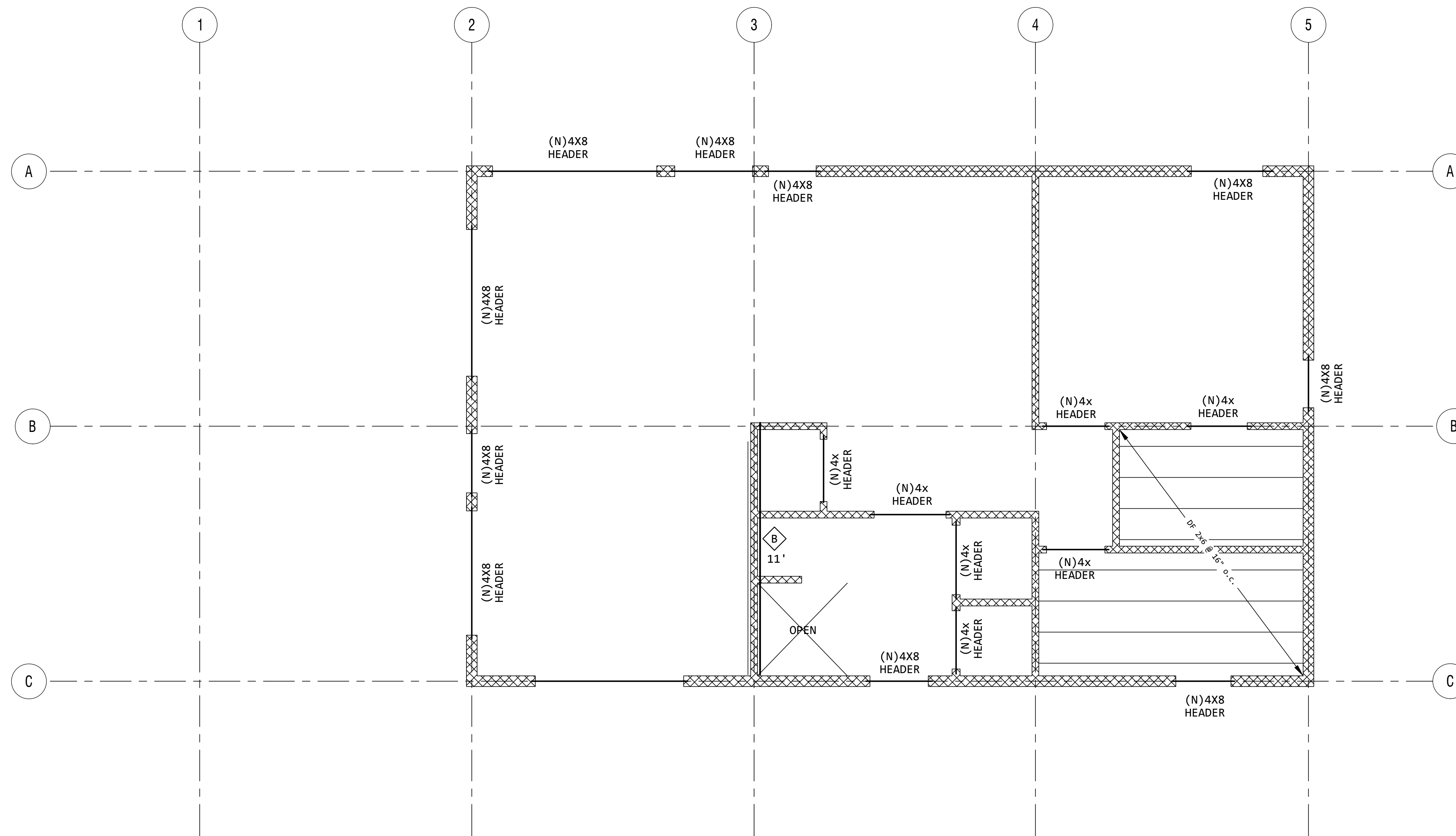
2ND FLOOR
 WALL PLAN

DATE: 06/30/2022
 SCALE: AS SHOWN
 DRAWN: JL
 SHEET NO:

S4.0

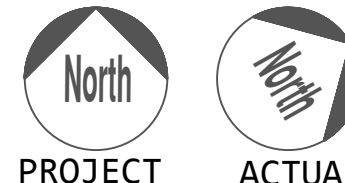
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LAST SAVED BY: Arturo



1 CEILING FRAMING PLAN

Scale: 3/8" = 1'-0"



REVISIONS	BY

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 MOSS BEACH, CA. 94038

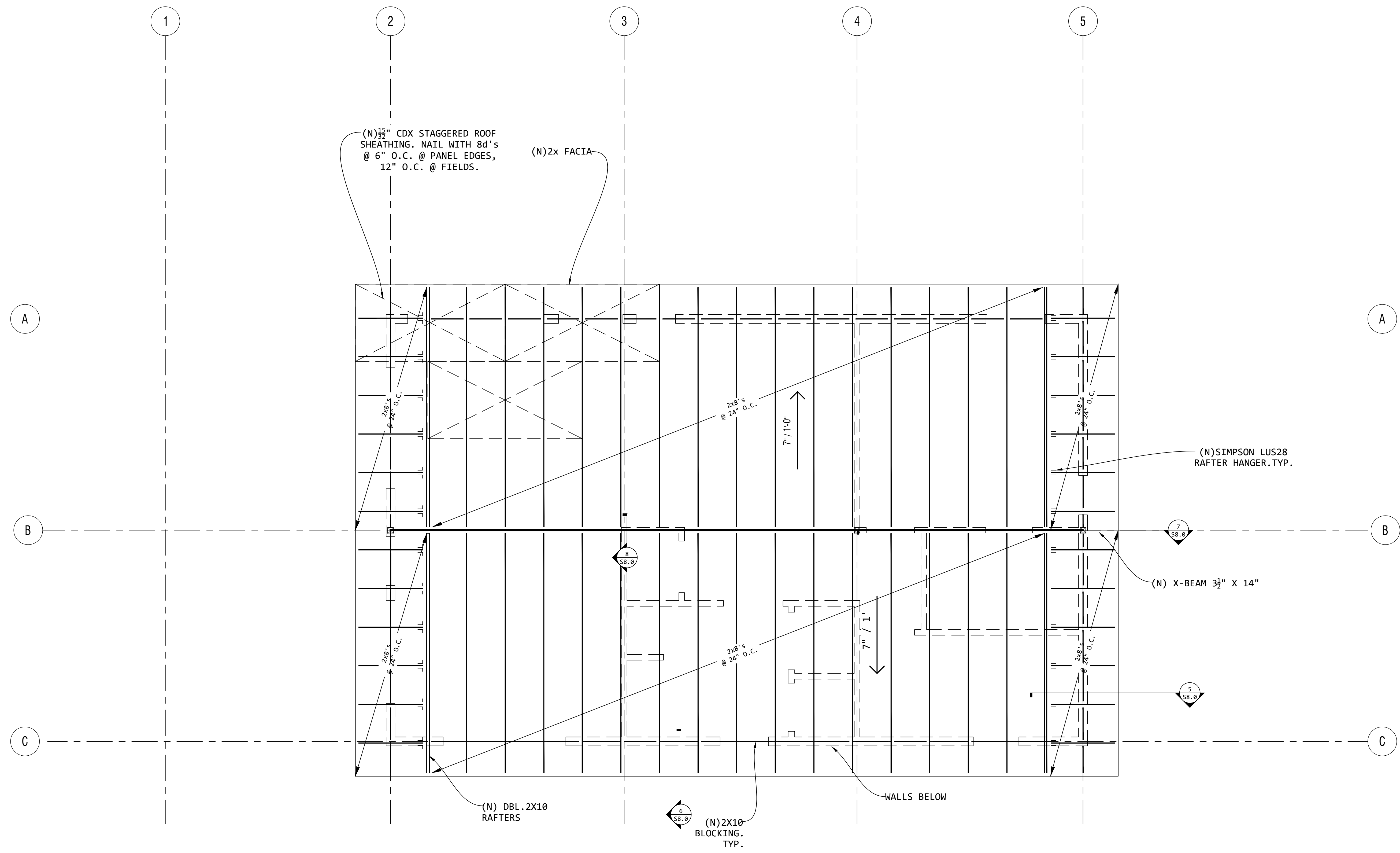
2ND FLOOR
 CEILING FRAMING PLAN

DATE: 06/30/2022
 SCALE: AS SHOWN
 DRAWN: JL
 SHEET NO:

S5.0

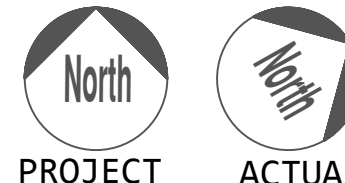
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1 ROOF FRAMING PLAN W/ WALLS BELOW

Scale: 3/8" = 1'-0"



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NEW ADU
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 MOSS BEACH, CA. 94038

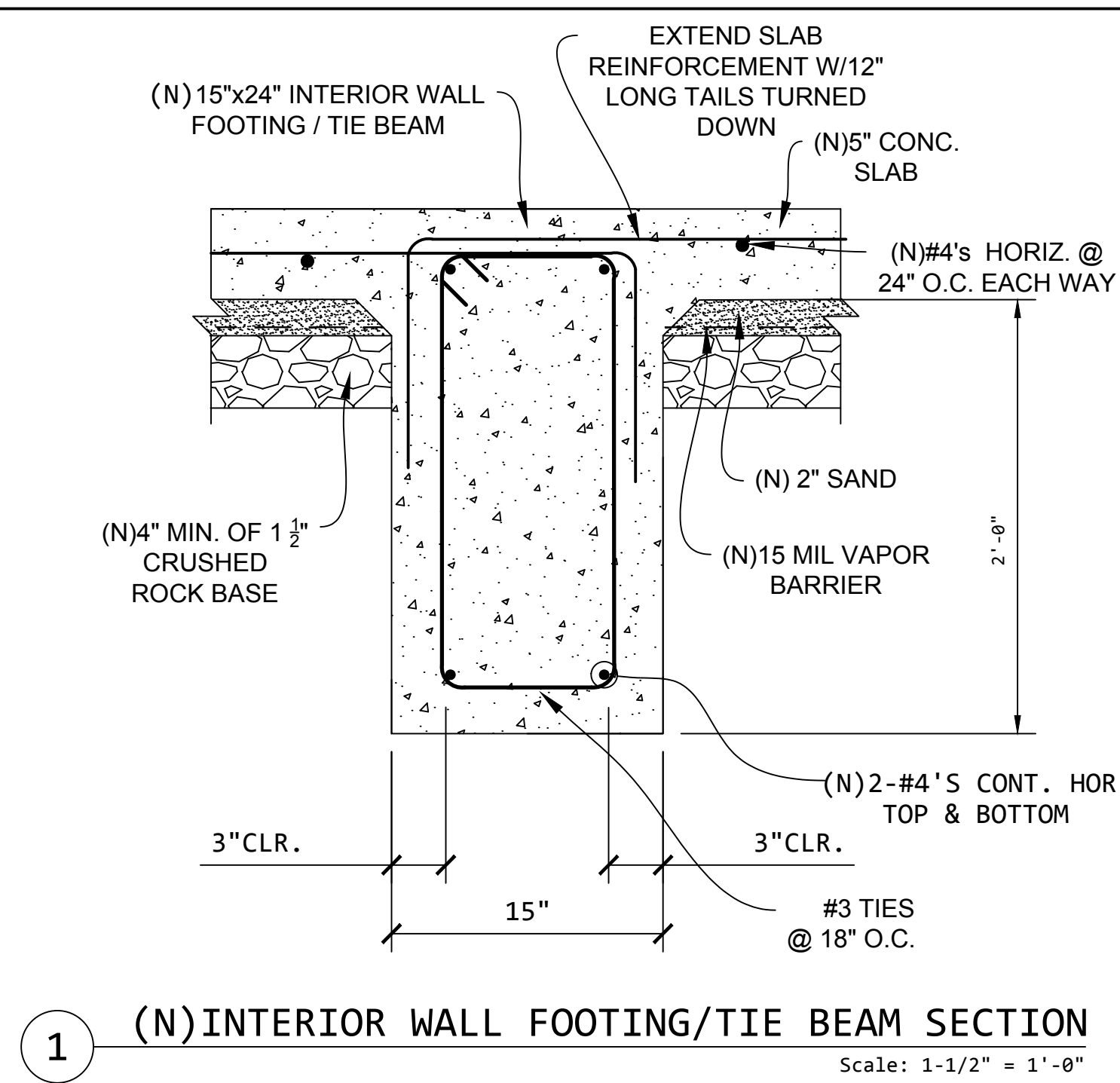
ROOF FRAMING PLAN
 W/ WALLS BELOW

DATE: 06/30/2022
 SCALE: AS SHOWN
 DRAWN: JL
 SHEET NO:

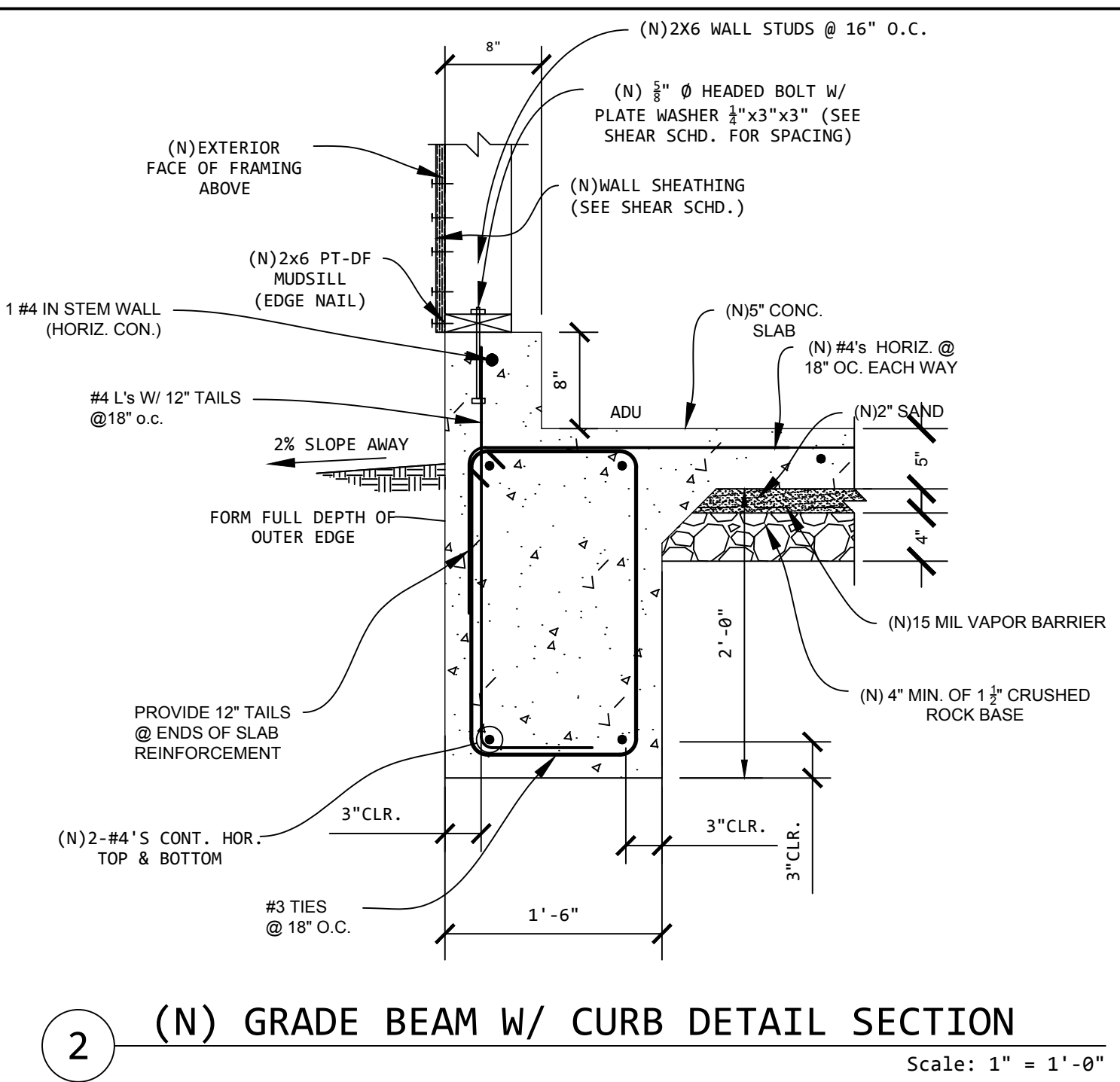
S6.0

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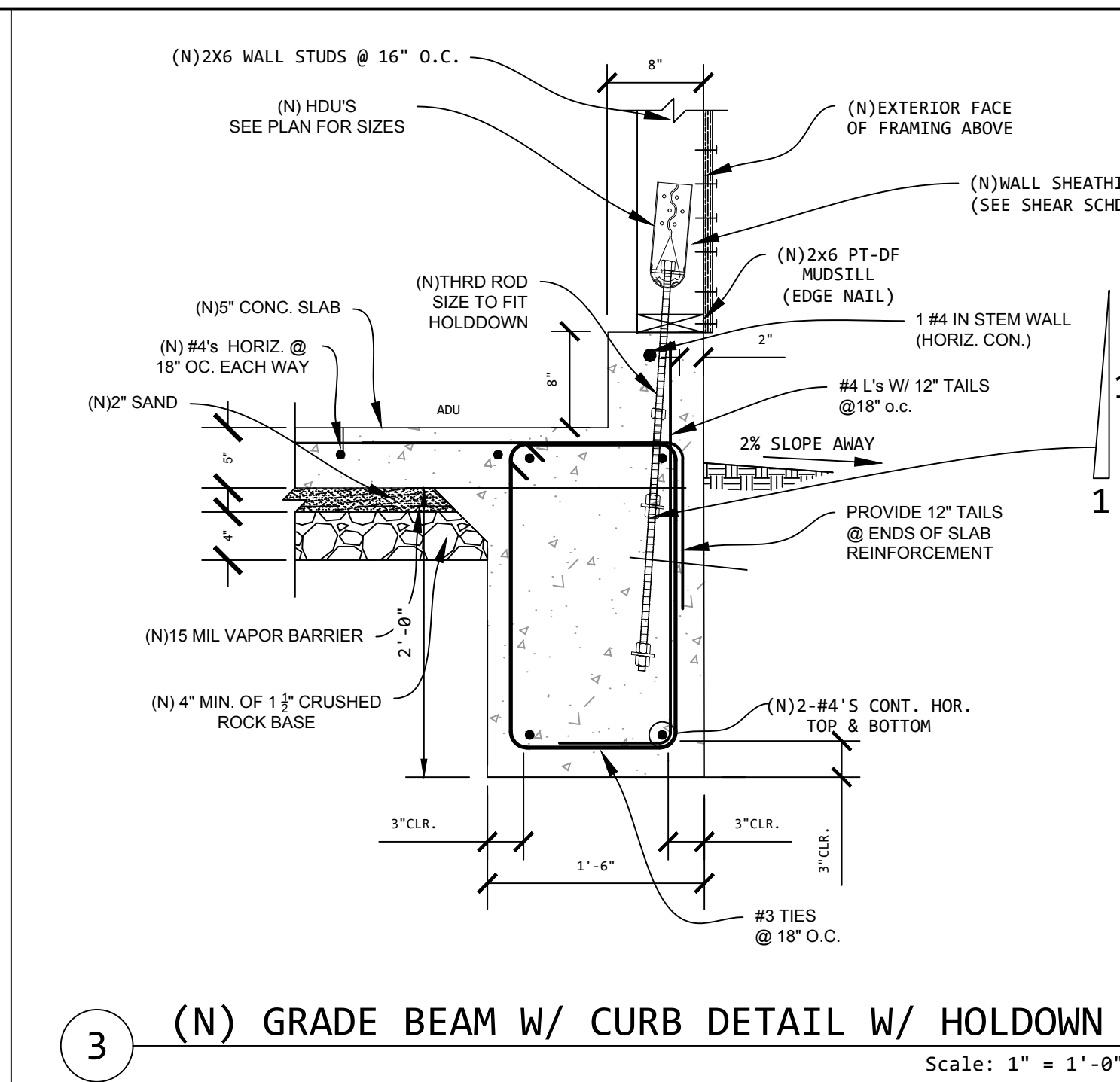
LAST SAVED BY: Arturo



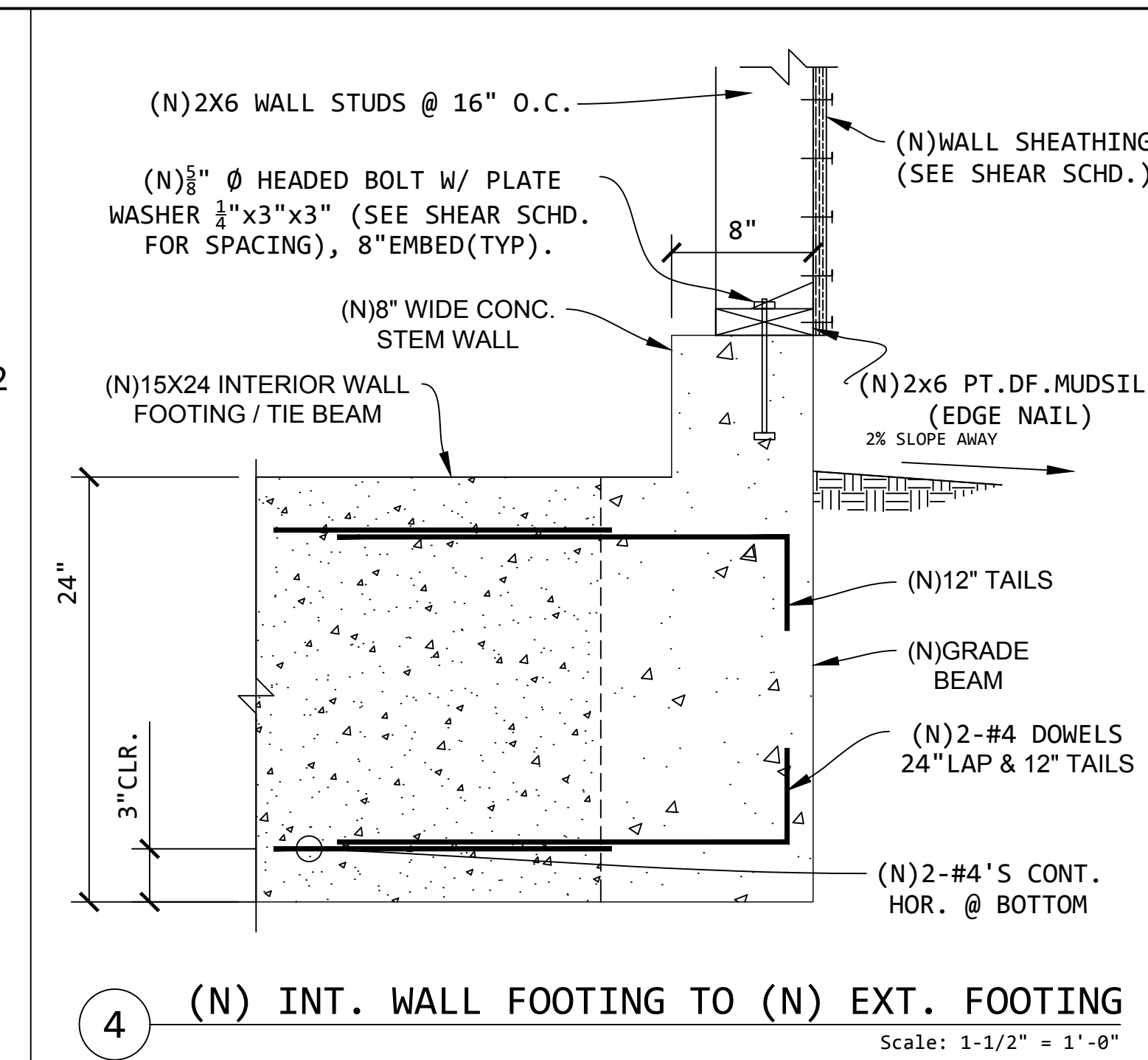
1 (N) INTERIOR WALL FOOTING/TIE BEAM SECTION
Scale: 1-1/2" = 1'-0"



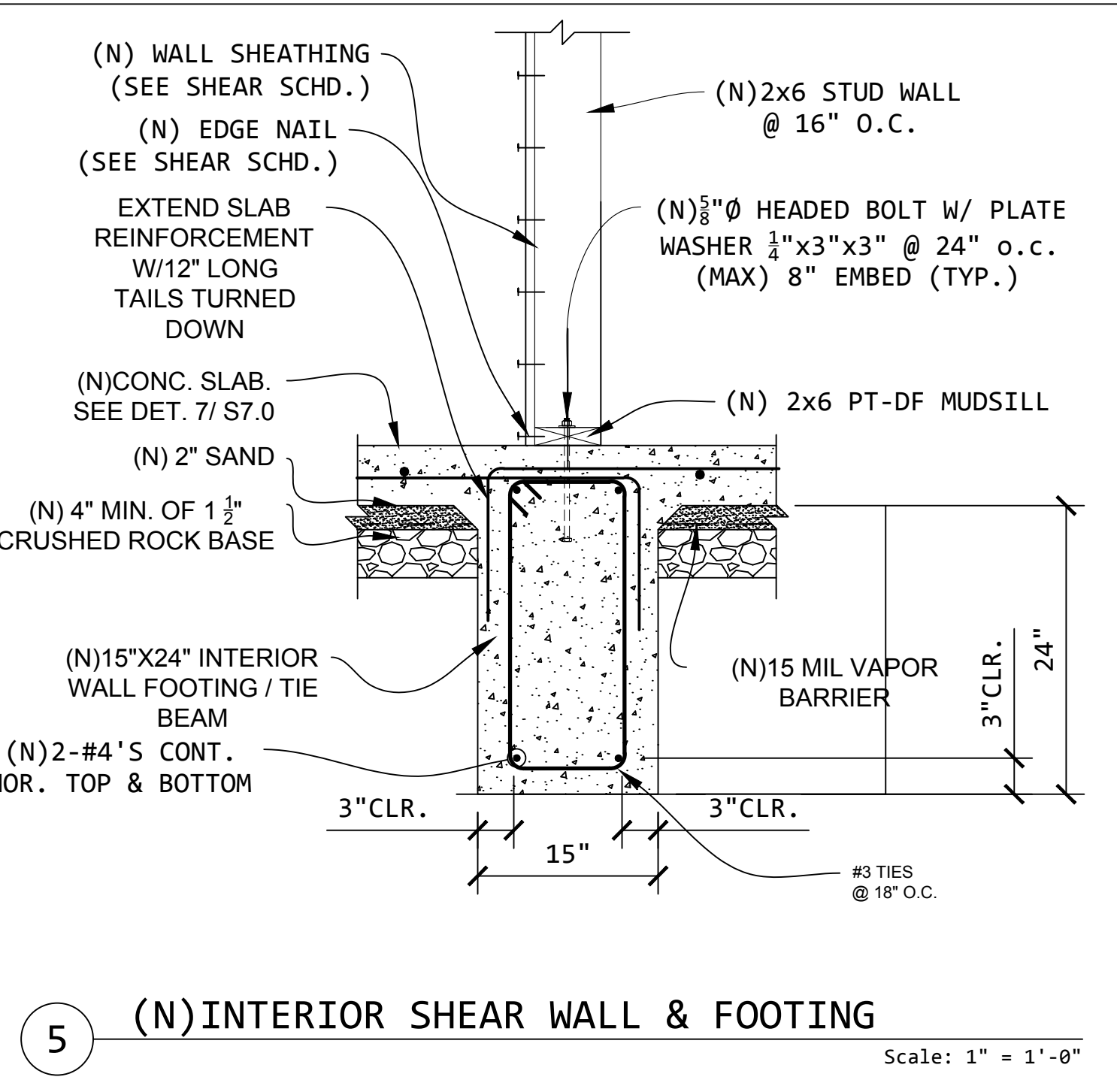
2 (N) GRADE BEAM W/ CURB DETAIL SECTION
Scale: 1" = 1'-0"



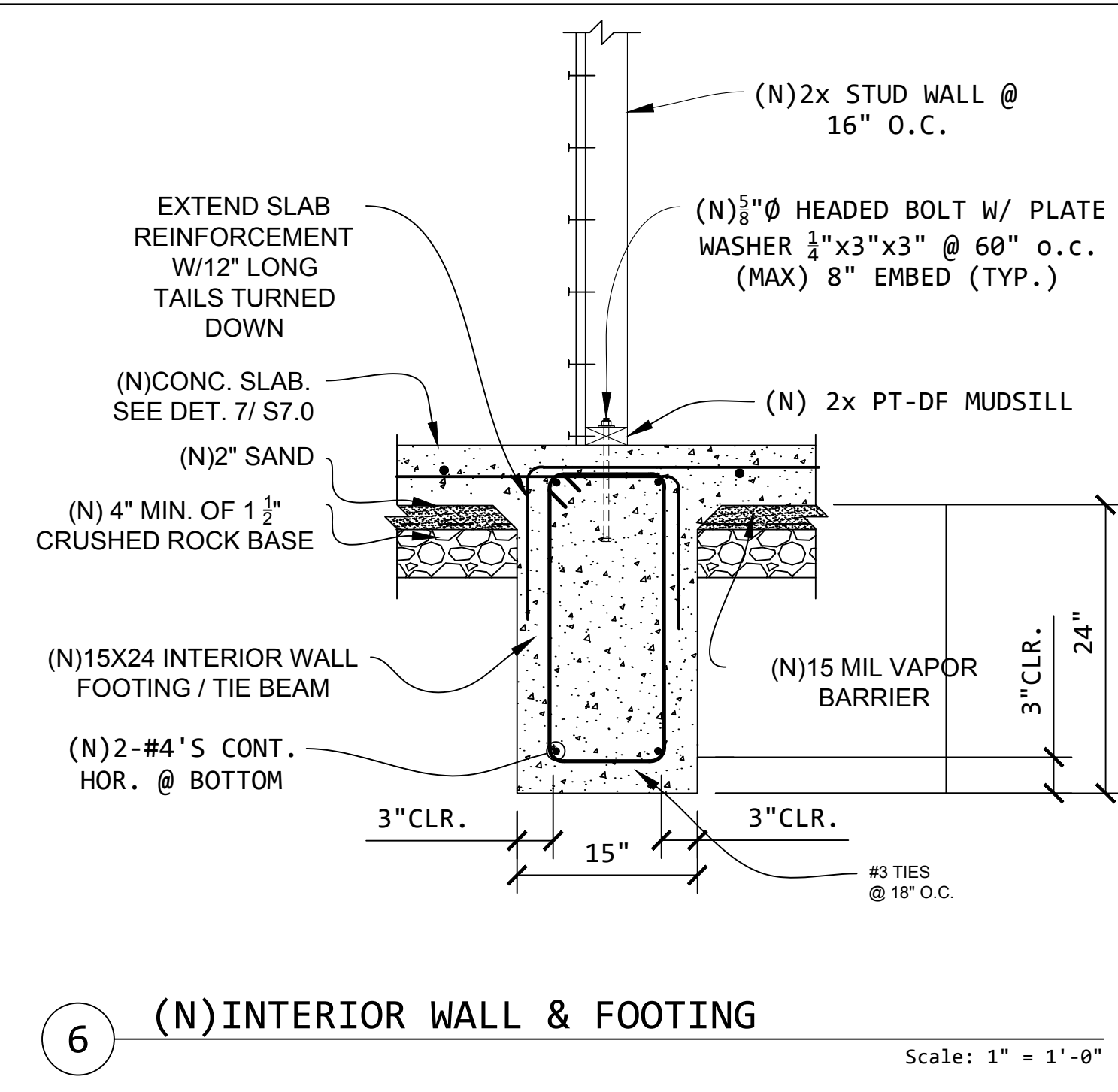
3 (N) GRADE BEAM W/ CURB DETAIL W/ HOLDDOWN
Scale: 1" = 1'-0"



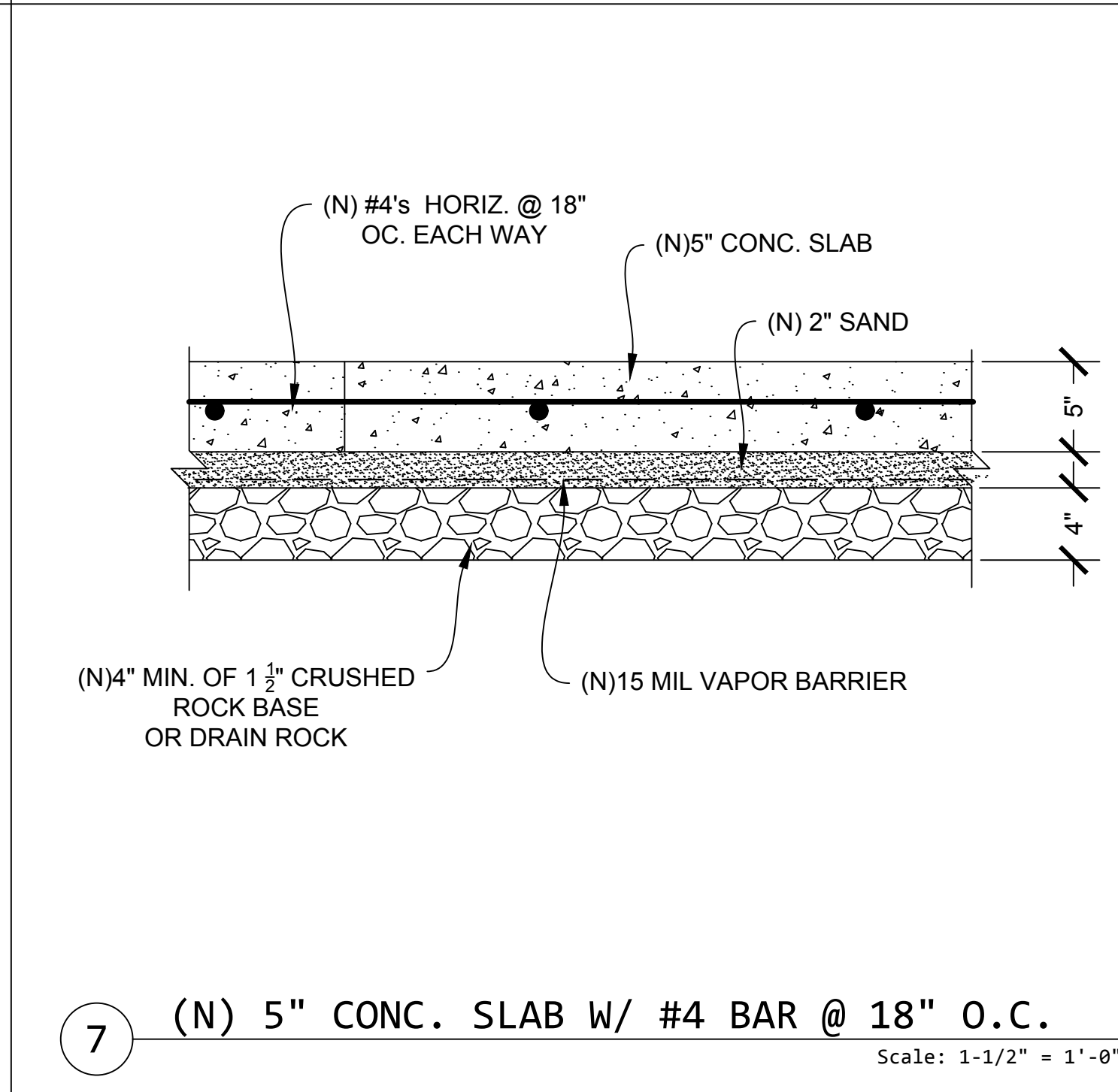
4 (N) INT. WALL FOOTING TO (N) EXT. FOOTING
Scale: 1-1/2" = 1'-0"



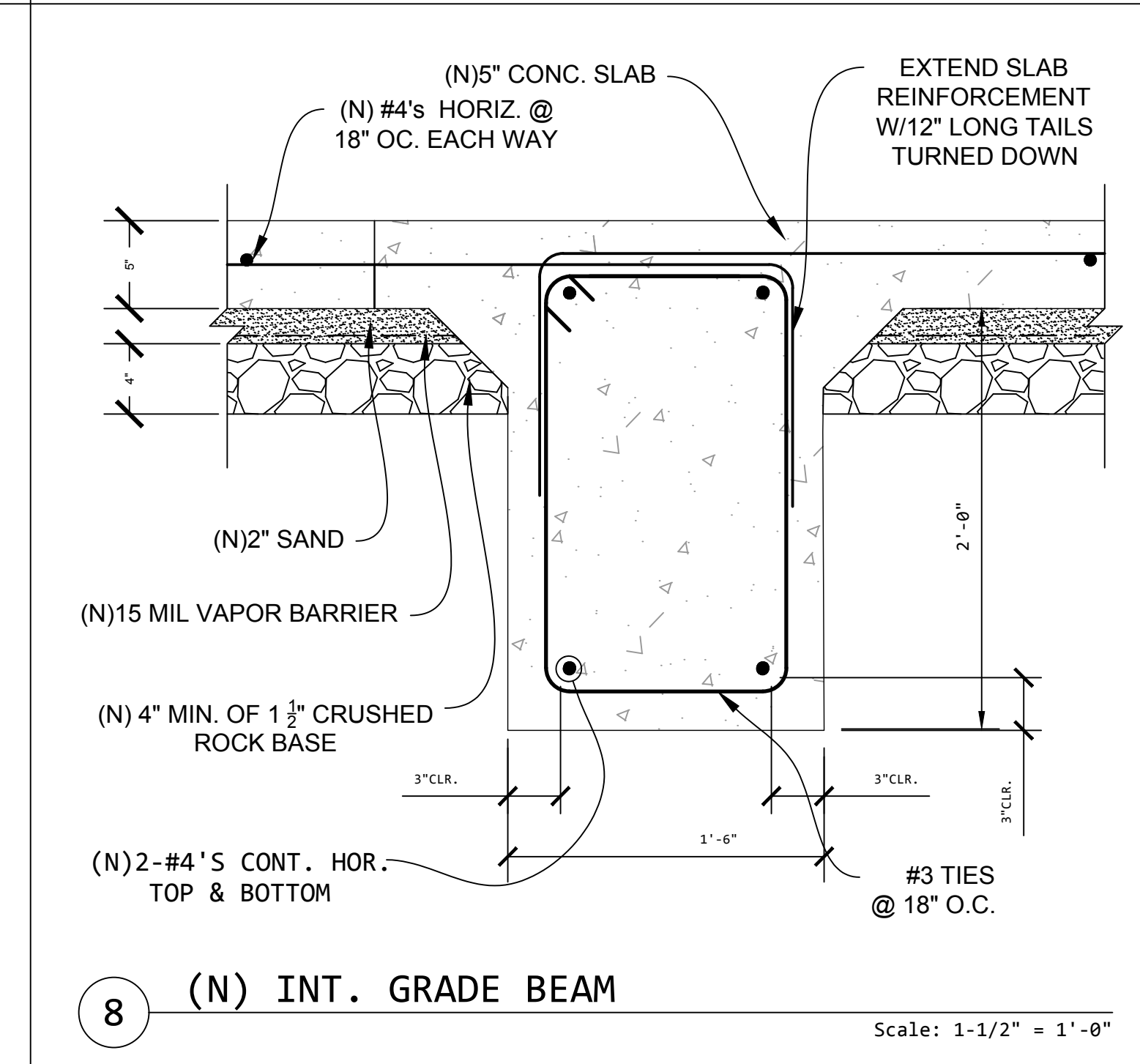
5 (N) INTERIOR SHEAR WALL & FOOTING
Scale: 1" = 1'-0"



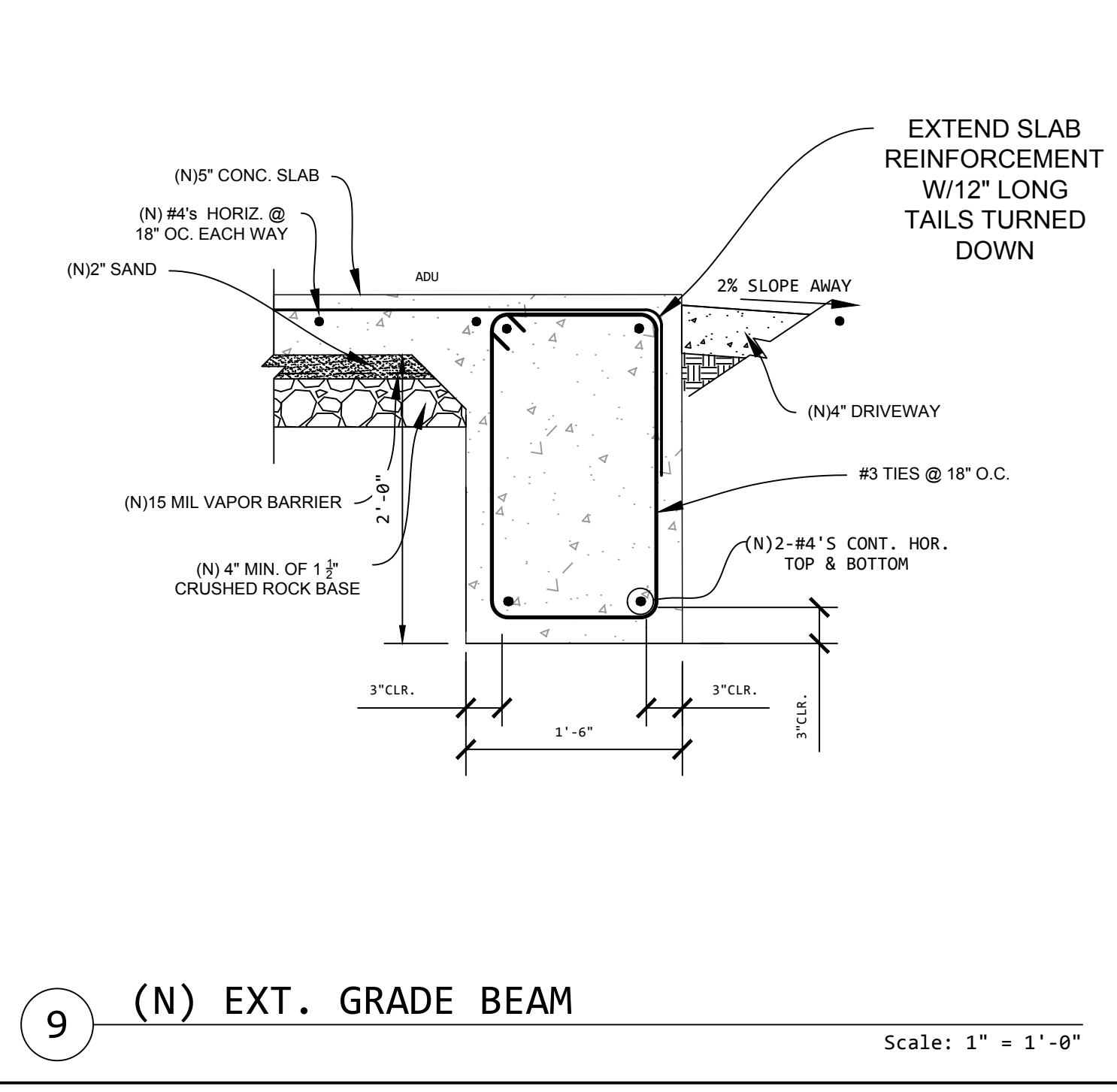
6 (N) INTERIOR WALL & FOOTING
Scale: 1" = 1'-0"



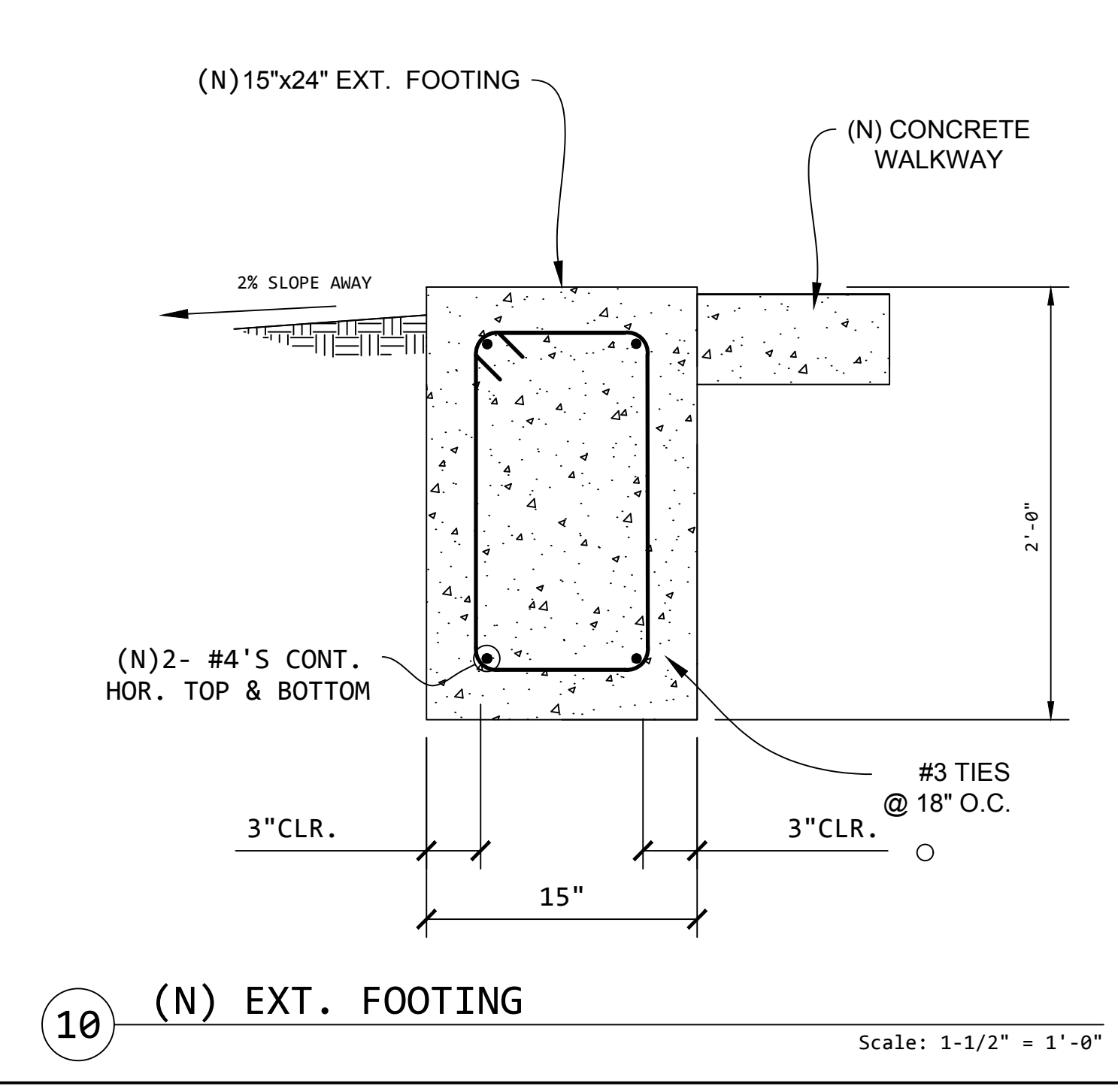
7 (N) 5" CONC. SLAB W/ #4 BAR @ 18" O.C.
Scale: 1-1/2" = 1'-0"



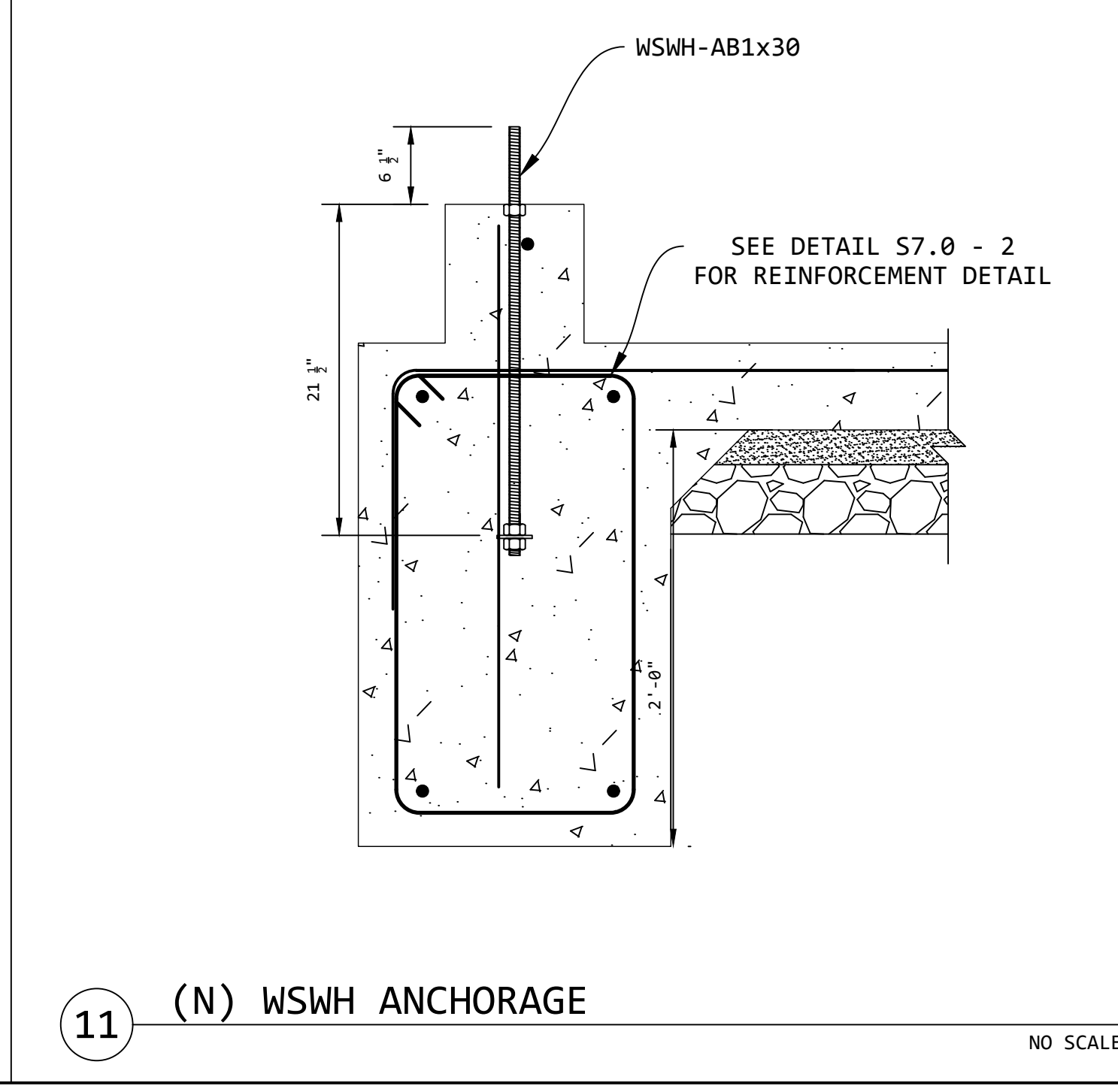
8 (N) INT. GRADE BEAM
Scale: 1-1/2" = 1'-0"



9 (N) EXT. GRADE BEAM
Scale: 1" = 1'-0"



10 (N) EXT. FOOTING
Scale: 1-1/2" = 1'-0"



11 (N) WSWH ANCHORAGE
NO SCALE

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RESERVED PROFESSIONAL ENGINEER
ERIC L. DOG
NO. 98833
EXPIRES 12/31/2023
STATE OF CALIFORNIA

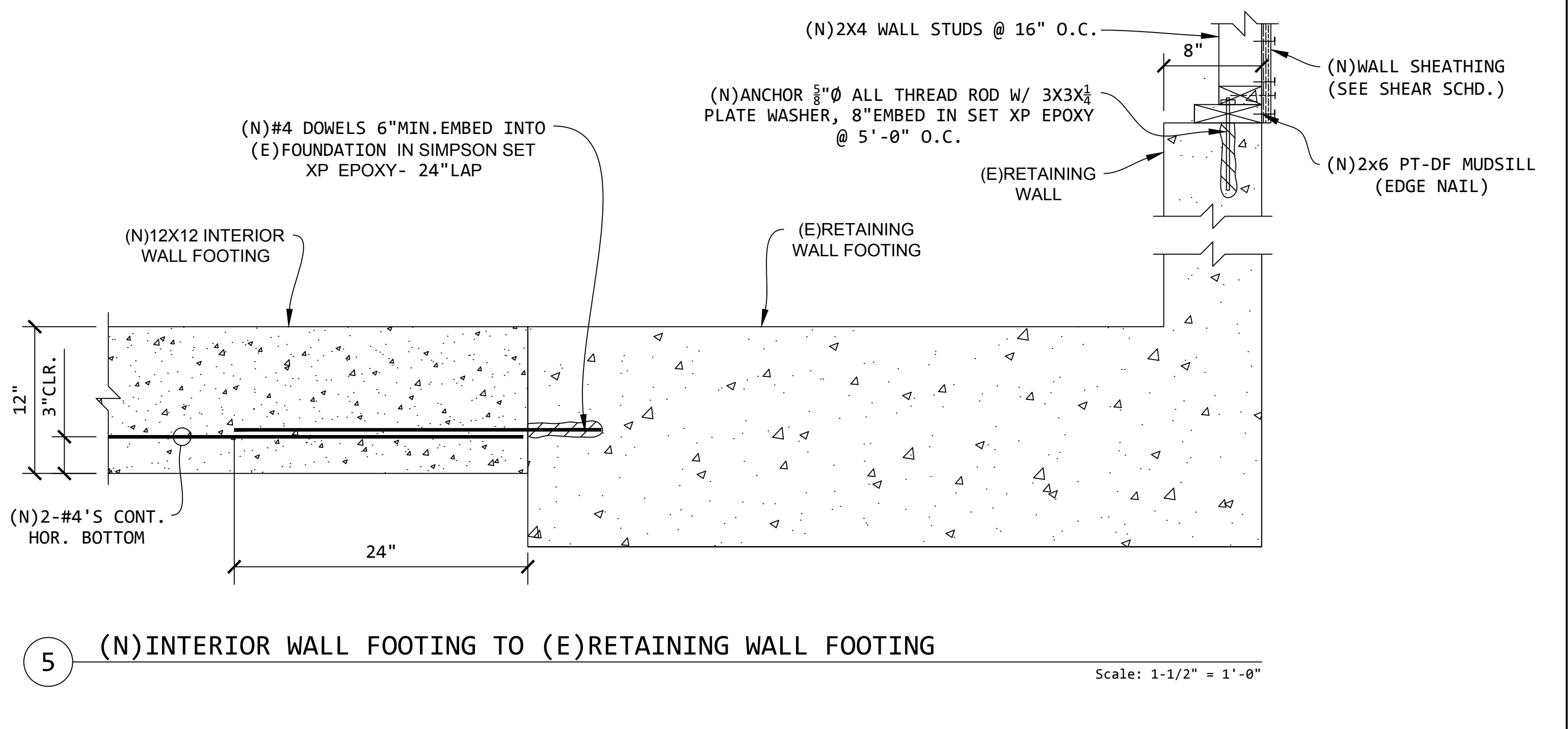
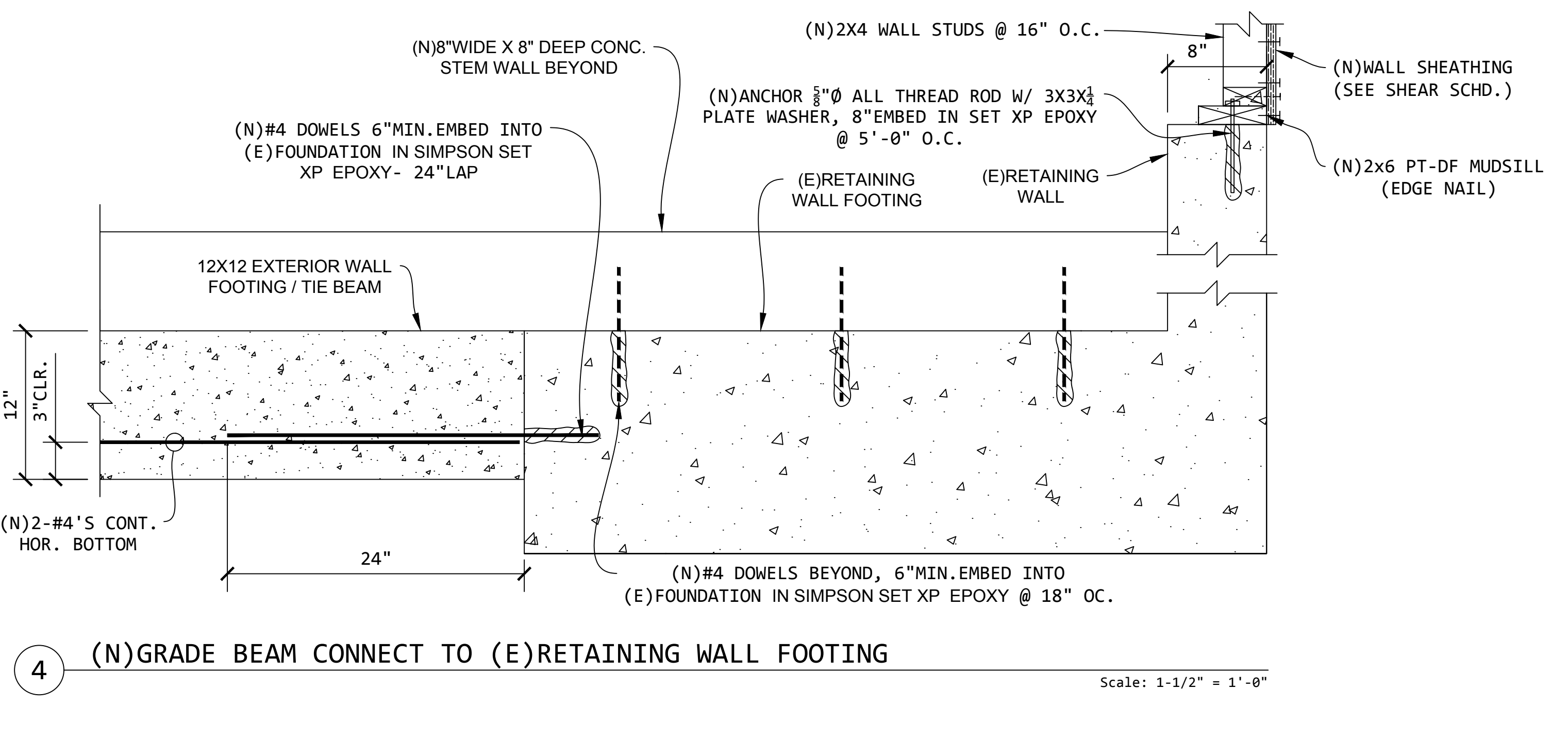
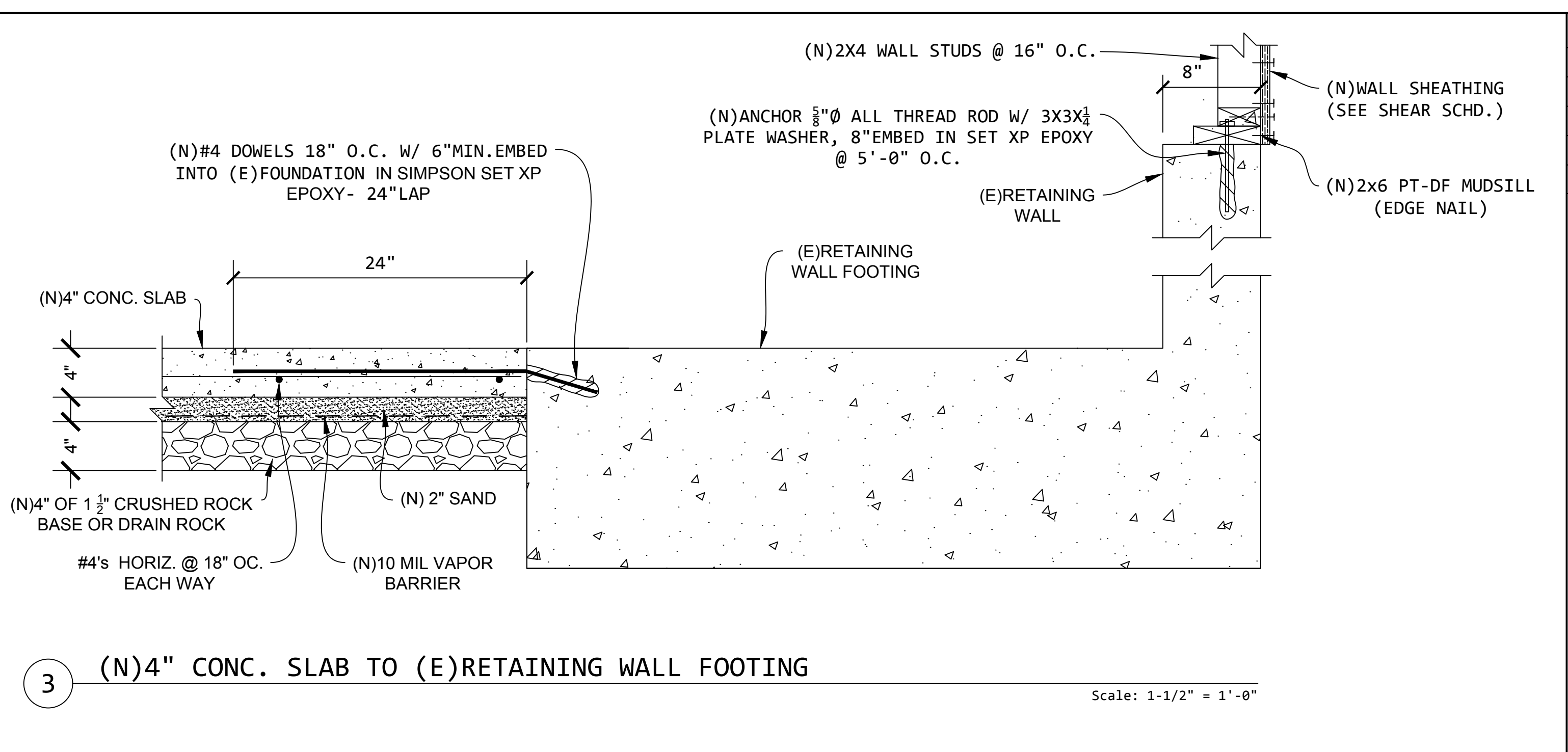
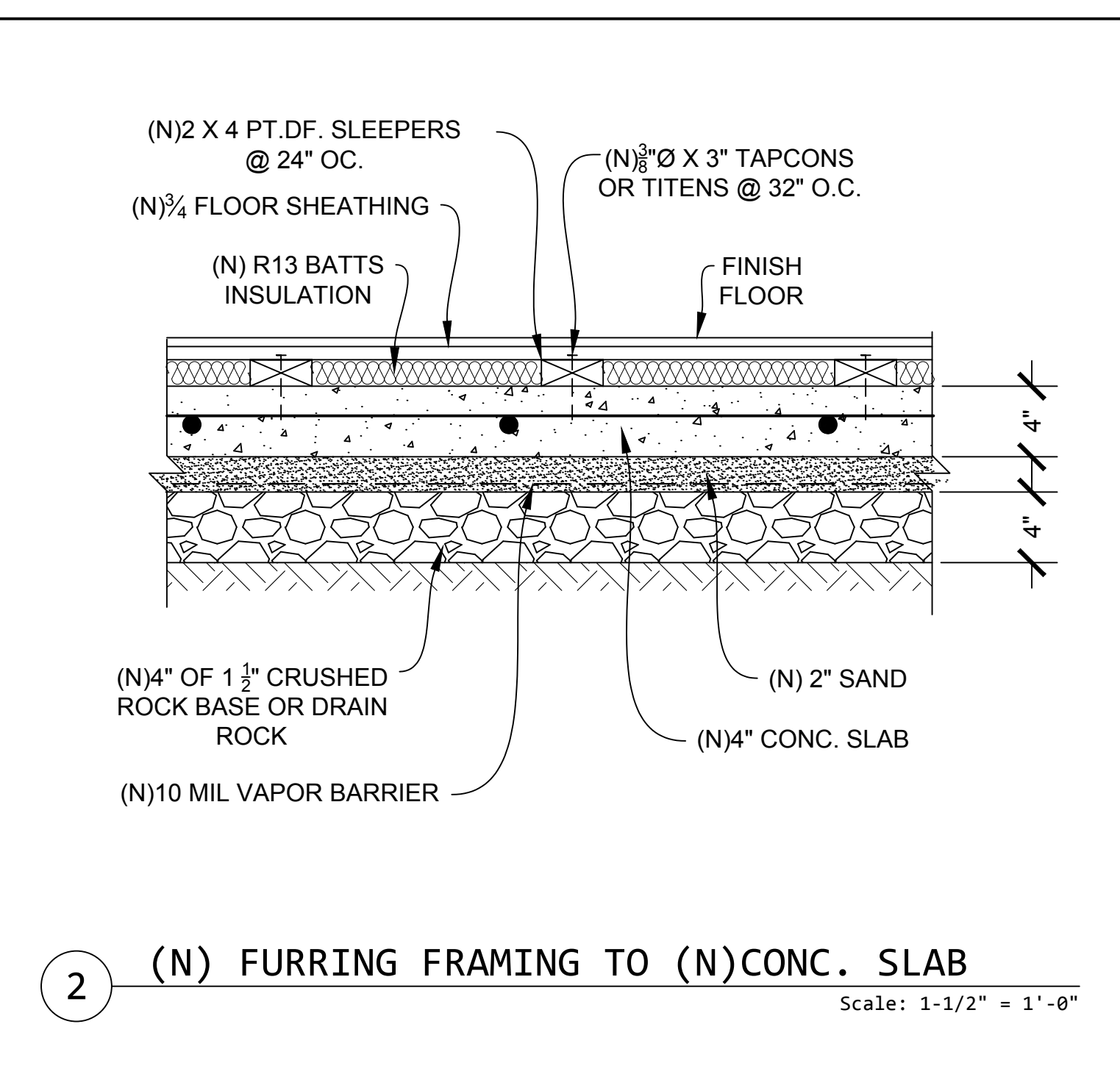
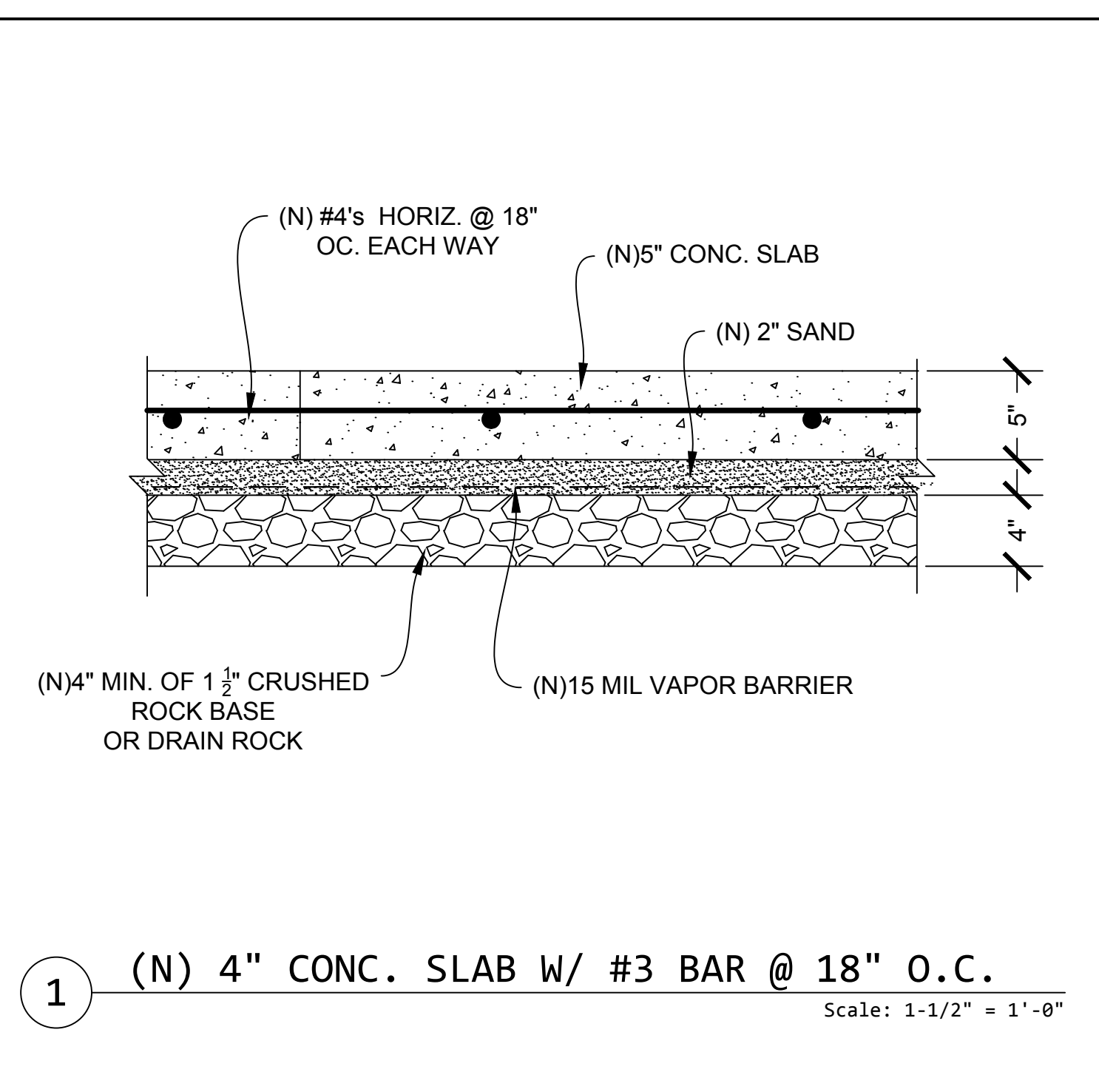
7/18/2023

NEW ADU
836 PARK AVENUE
MOSS BEACH, CA. 94038

CONCRETE DETAILS

DATE: 06-30-2022
SCALE: AS SHOWN
DRAWN: ---
SHEET: S7.0

CALL BEFORE YOU DIG.
ANY WORK THAT DISTURBS THE GROUND: SUCH AS EARTHWORK, DEMOLITION, EXCAVATION, GRADING, AND LANDSCAPE REQUIRES HOMEOWNERS, CONTRACTORS, SUB-CONTRACTORS, OR ANY PERSON RESPONSIBLE TO INDIVIDUALLY CALL 811 FOR UNDERGROUND UTILITY AND/OR SERVICE LOCATIONS, AND TO POTHOLE VERIFY/EXPOSE UTILITY AND/OR SERVICE PRIOR TO COMMENCEMENT OF WORK.



REVISIONS	BY

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REGISTERED PROFESSIONAL ENGINEER
ERIC L. DOUGLAS
No. 8553
EXPIRES 12/31/2023
STRUCTURAL
STATE OF CALIFORNIA

7/18/2023

NEW ADU
836 PARK AVENUE
MOSS BEACH, CA. 94038

CONCRETE DETAILS

DATE: 06-30-2022
SCALE: AS SHOWN
DRAWN: ----
SHEET: S7.1

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REVISIONS	BY

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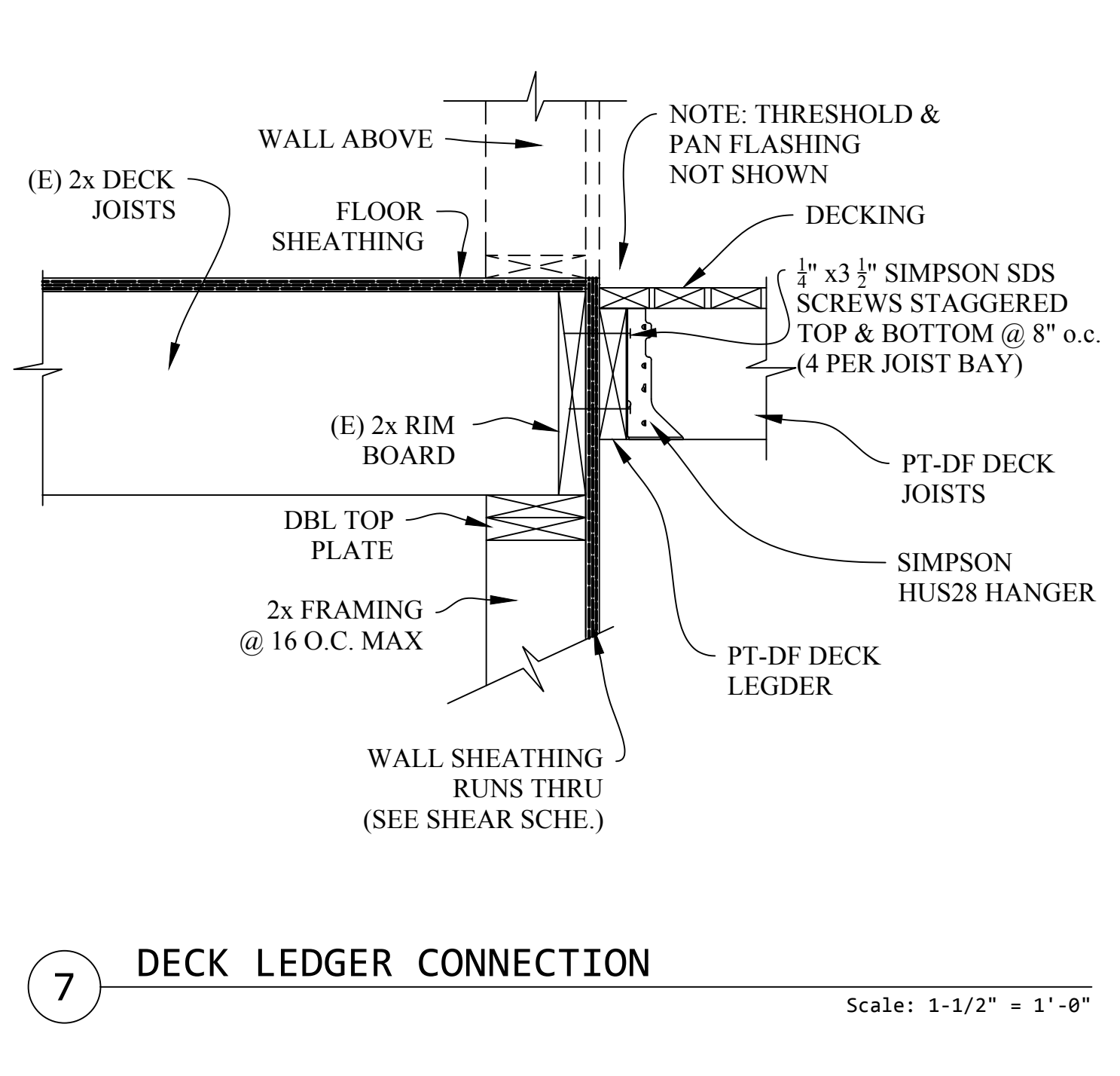
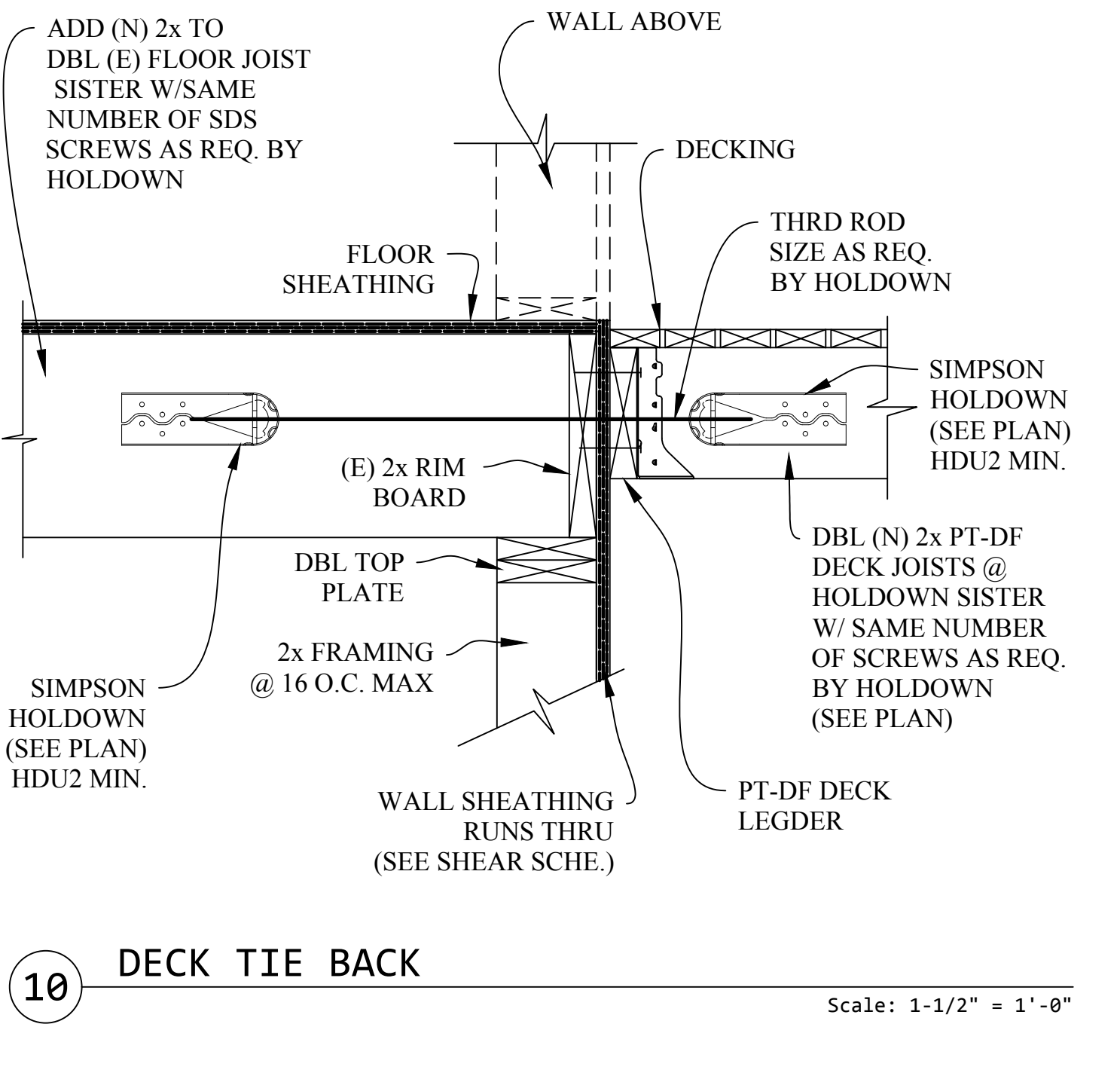
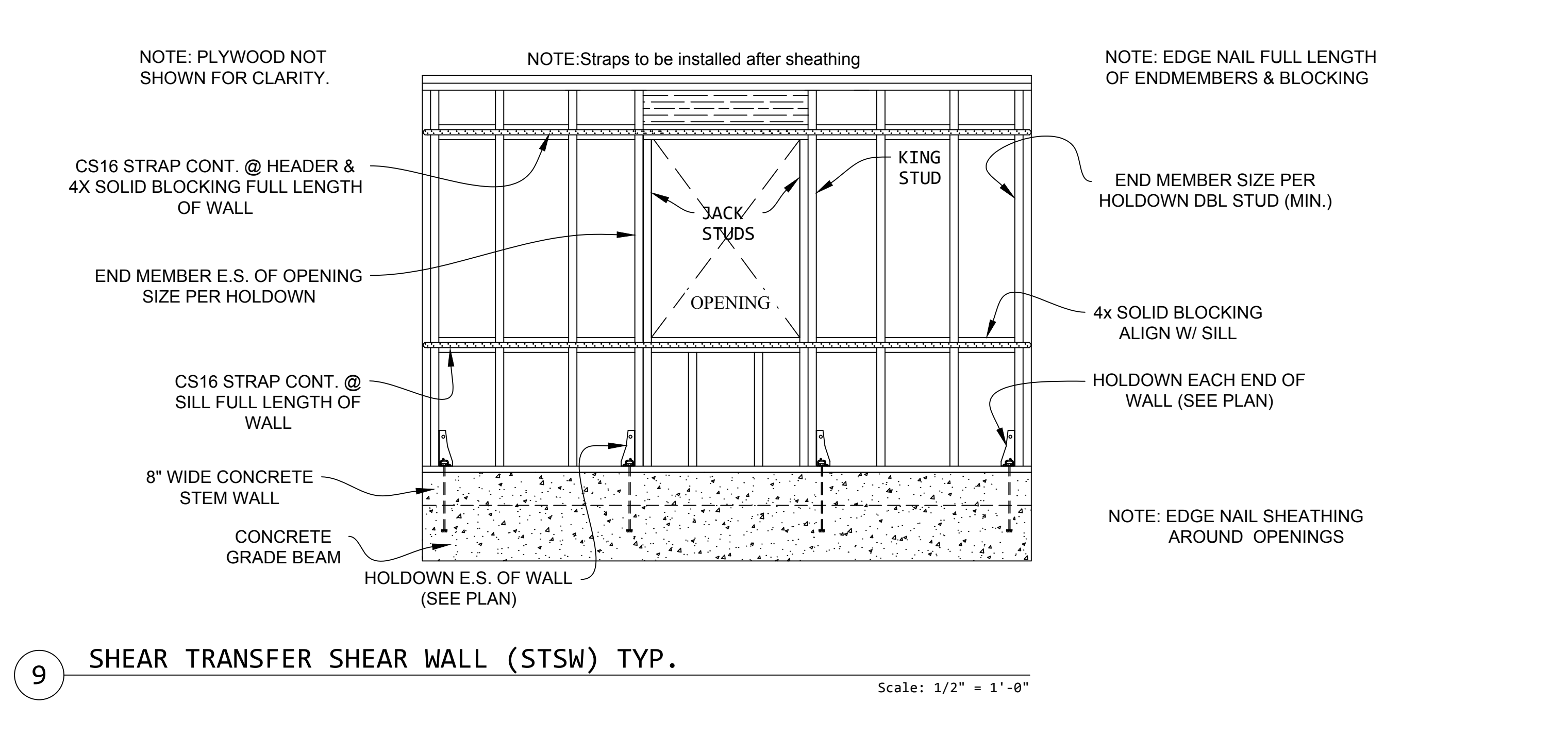
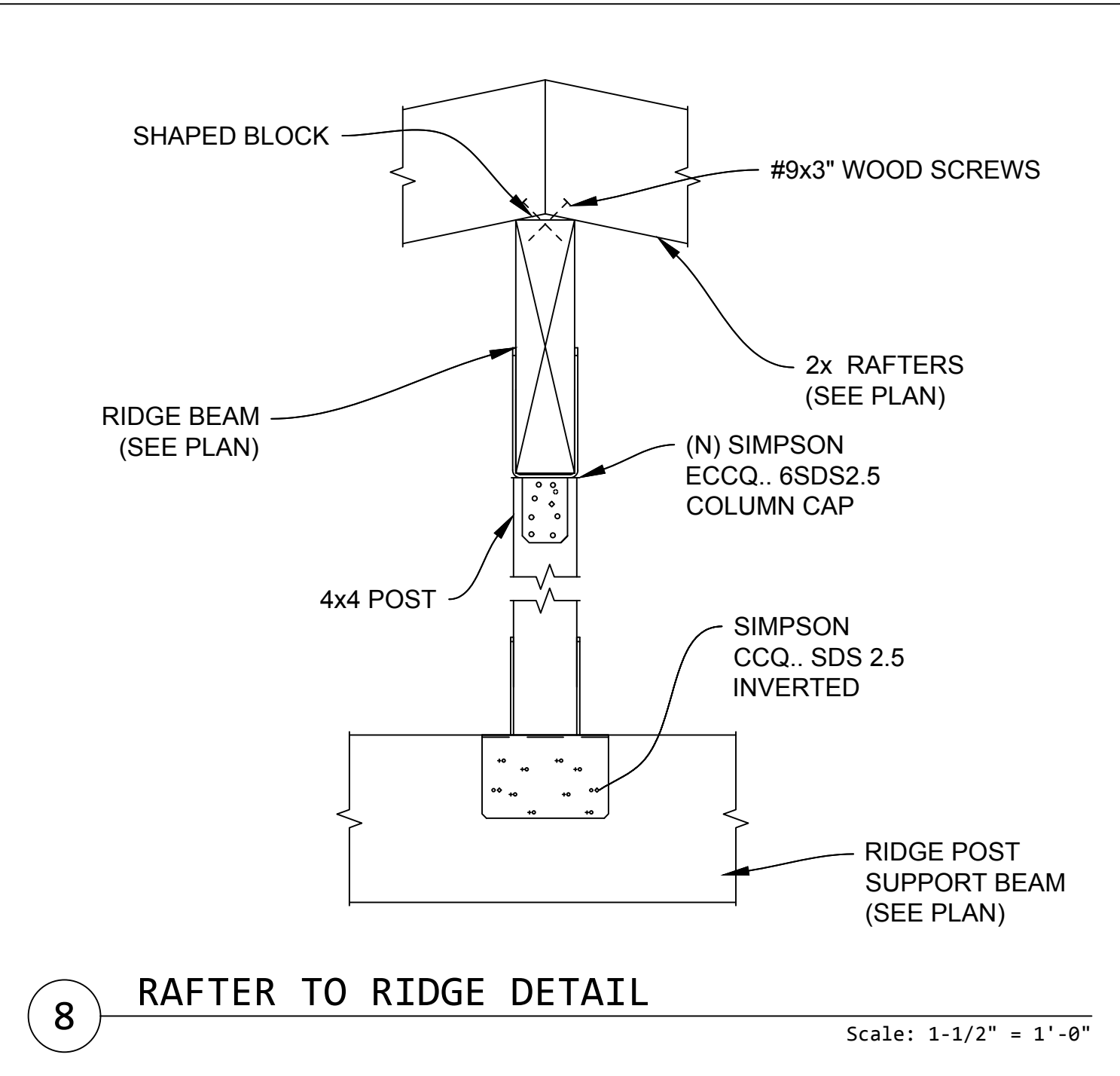
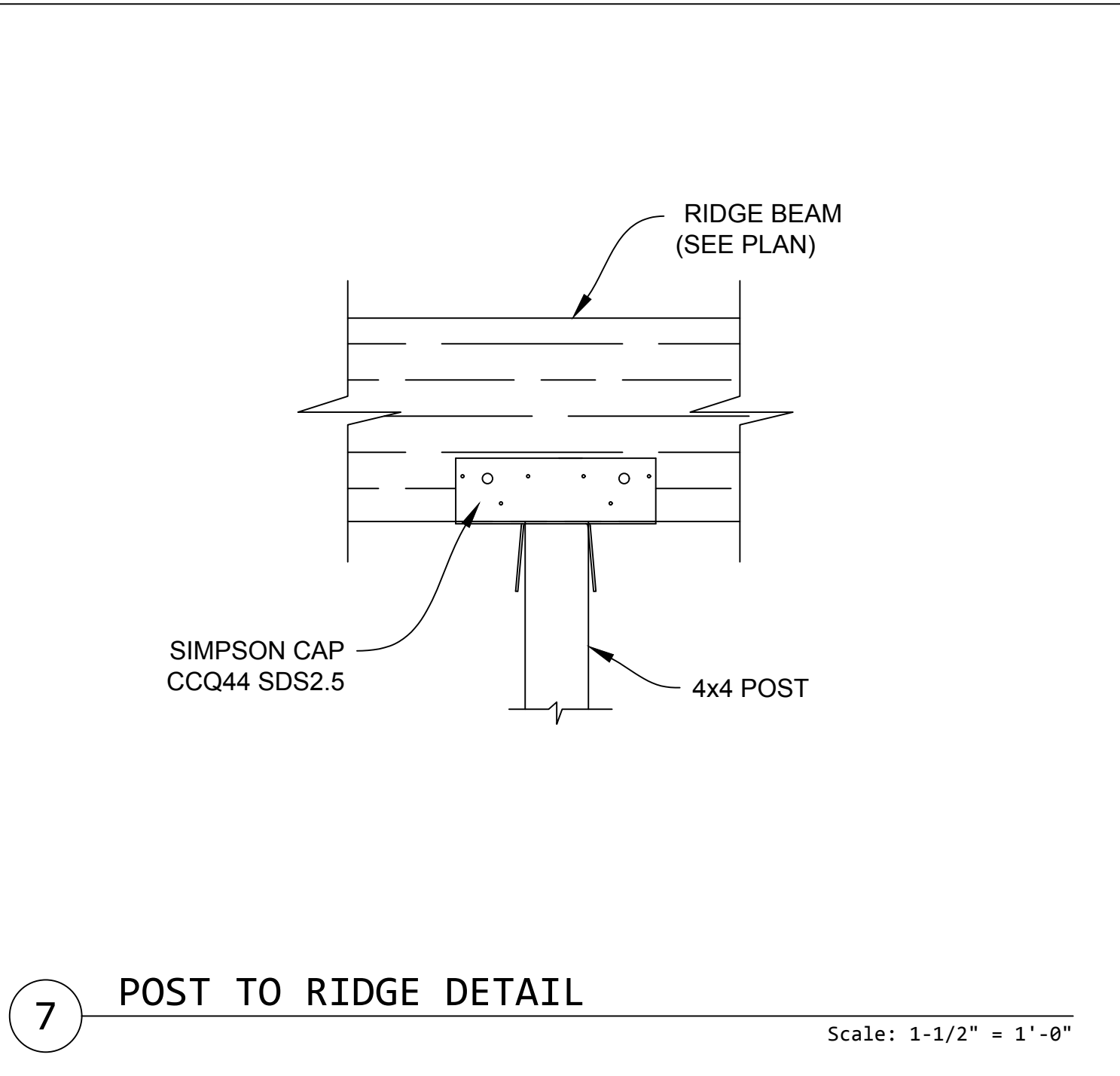
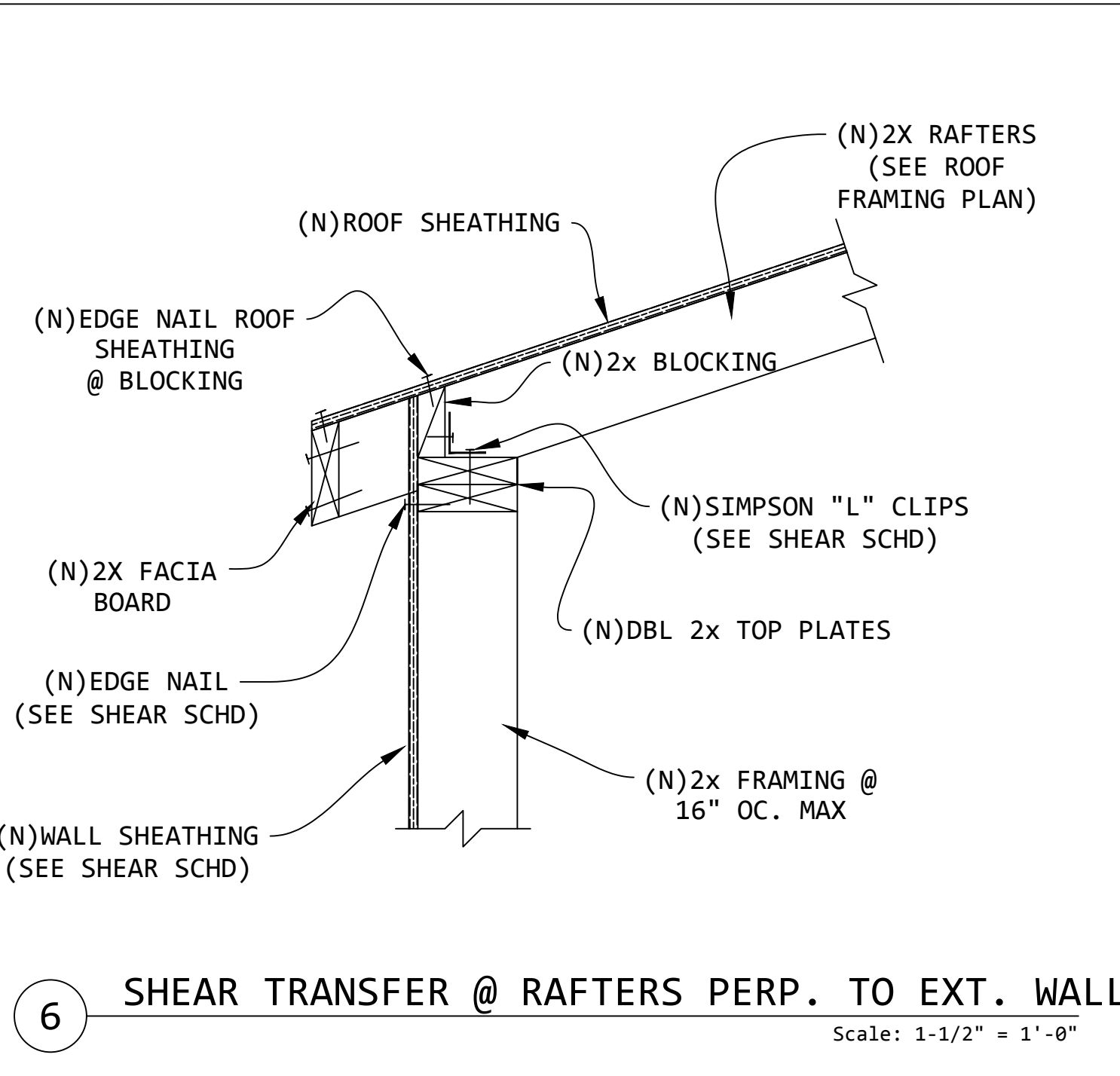
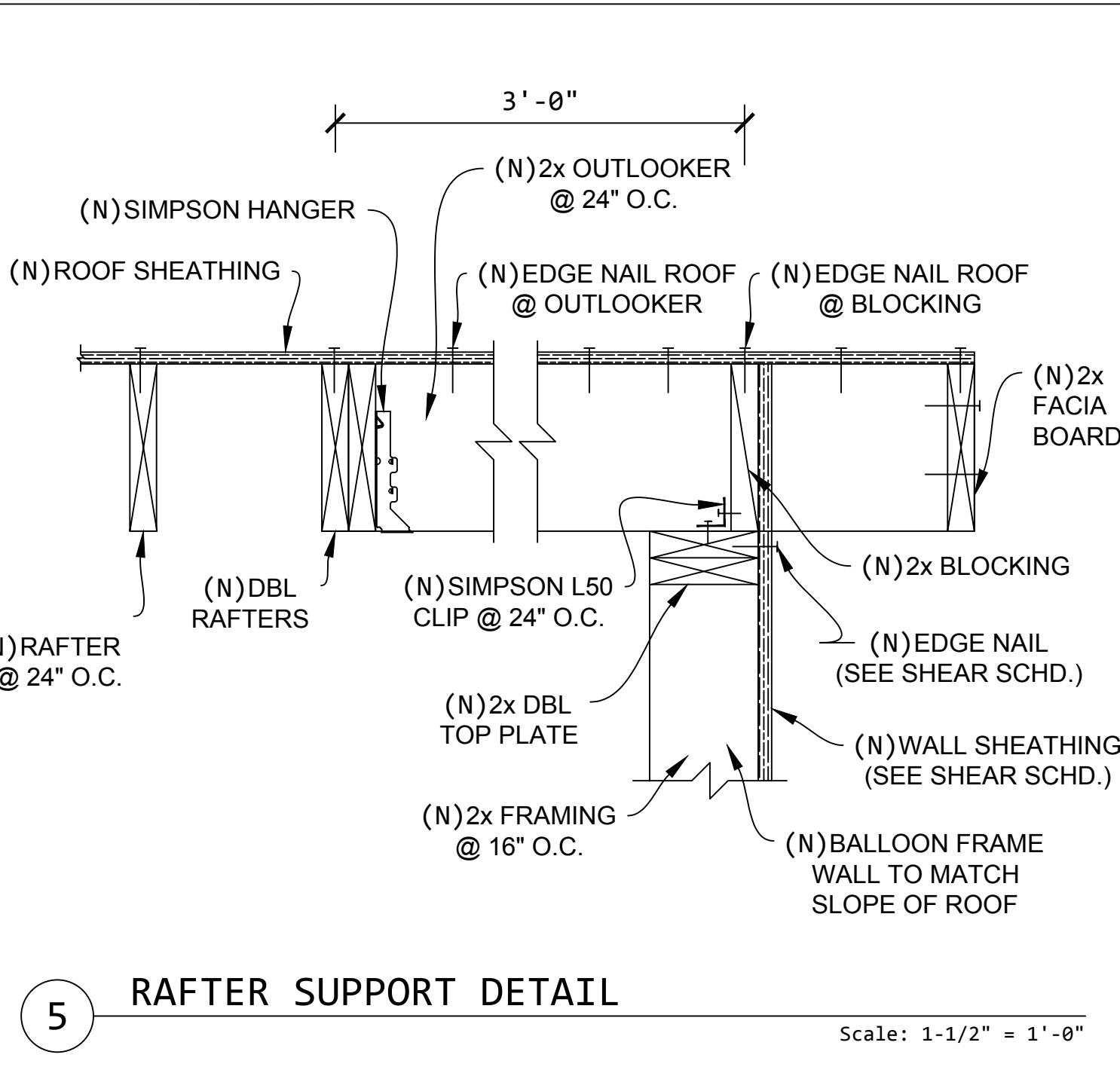
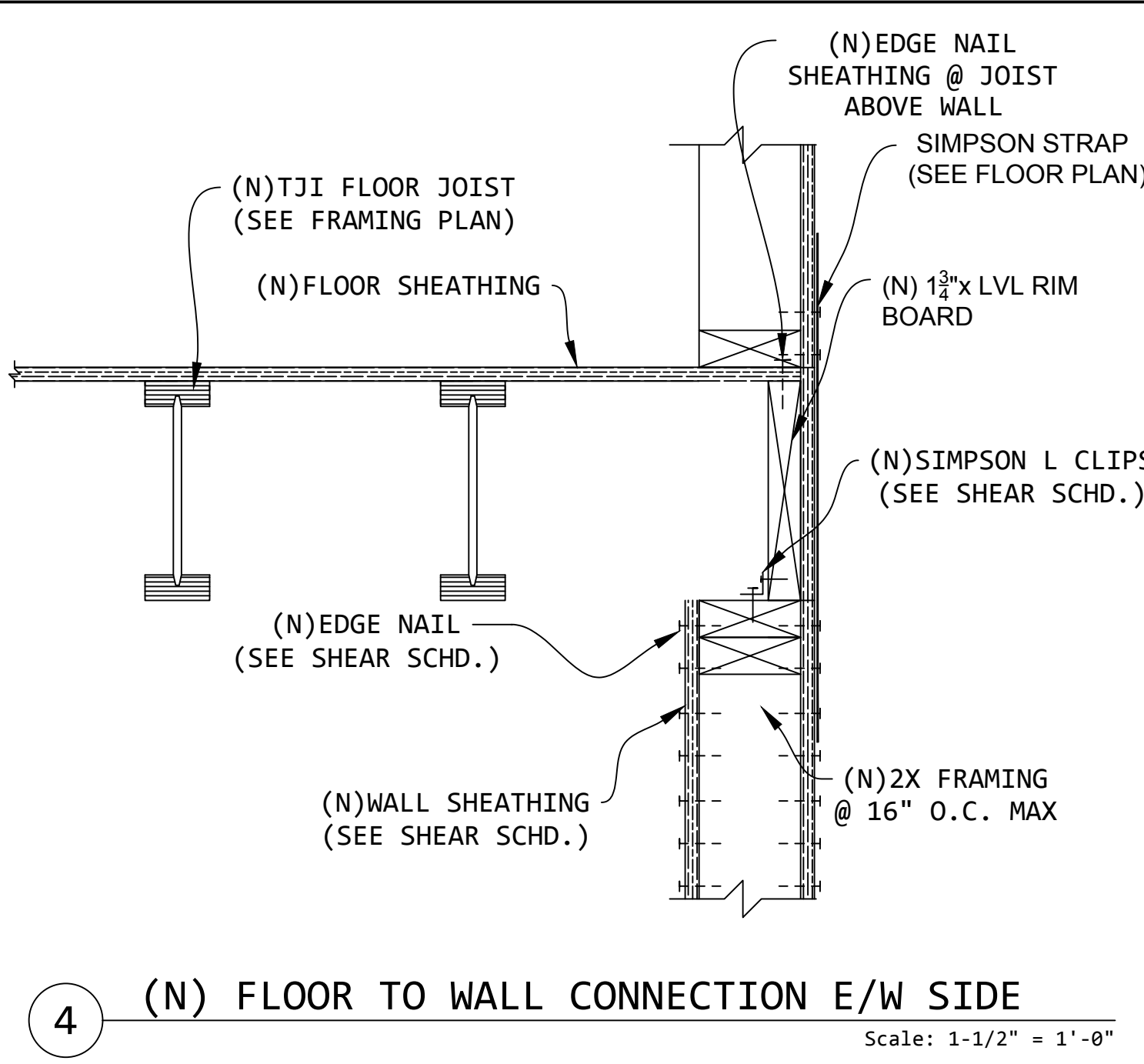
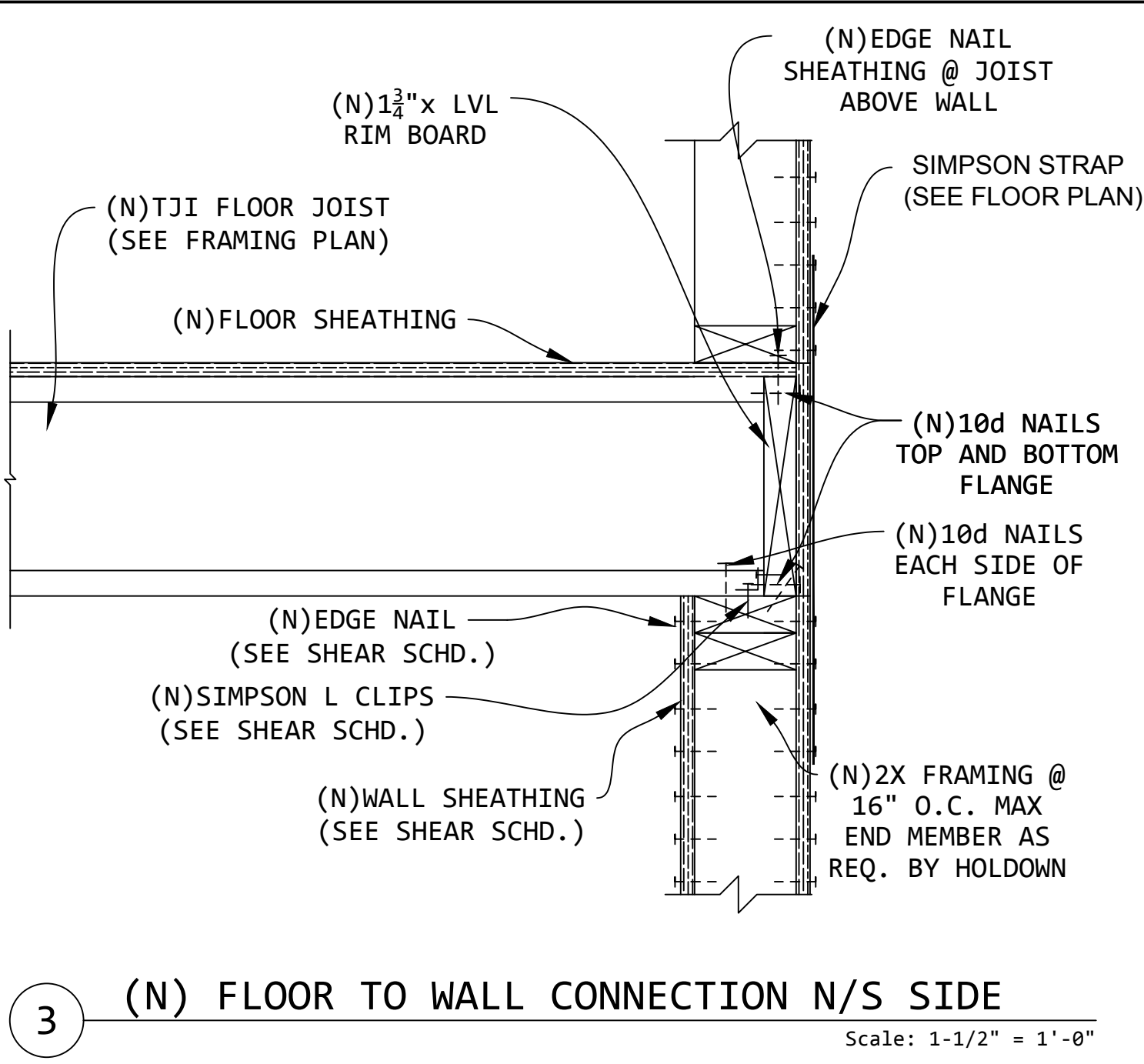
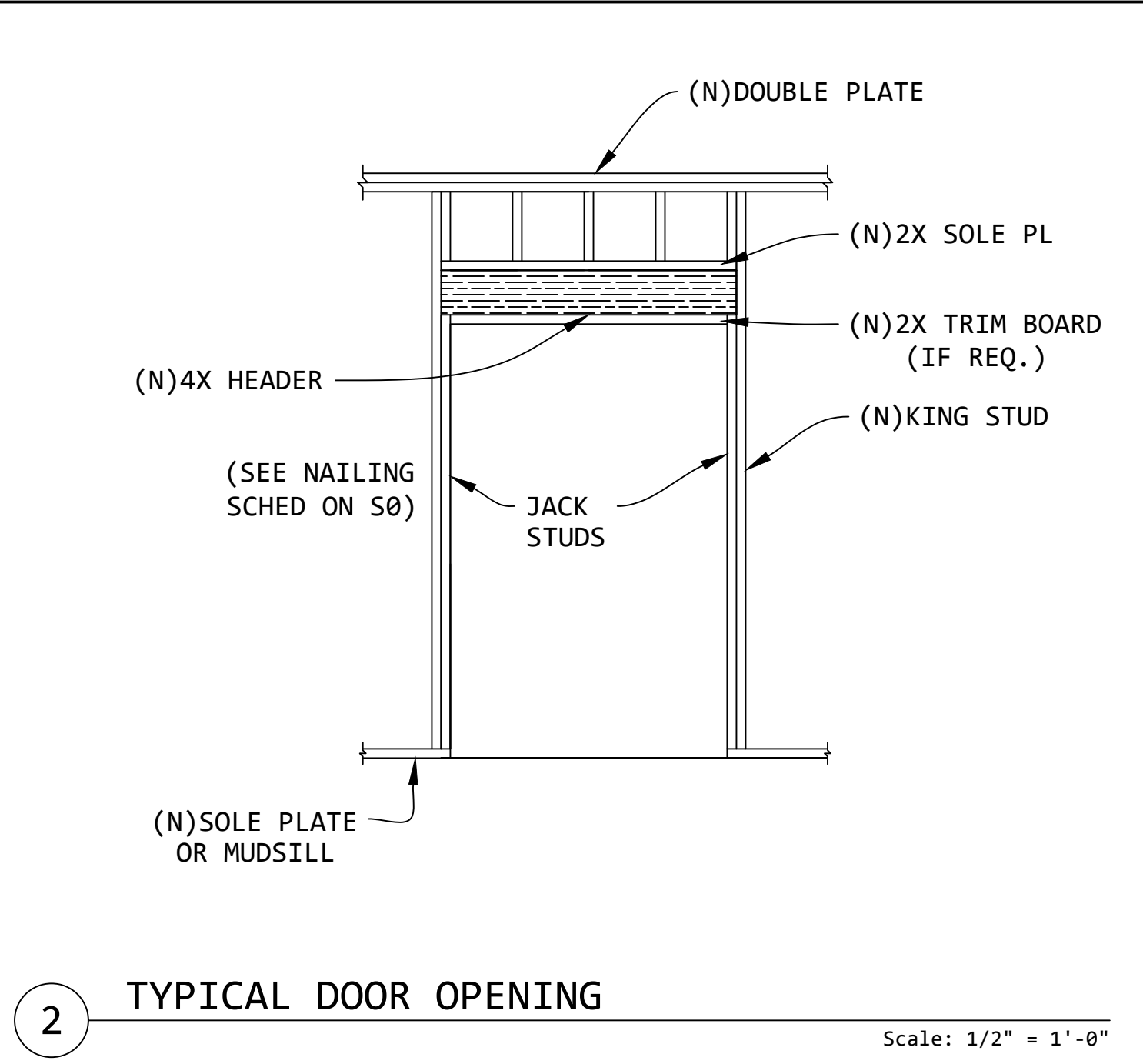
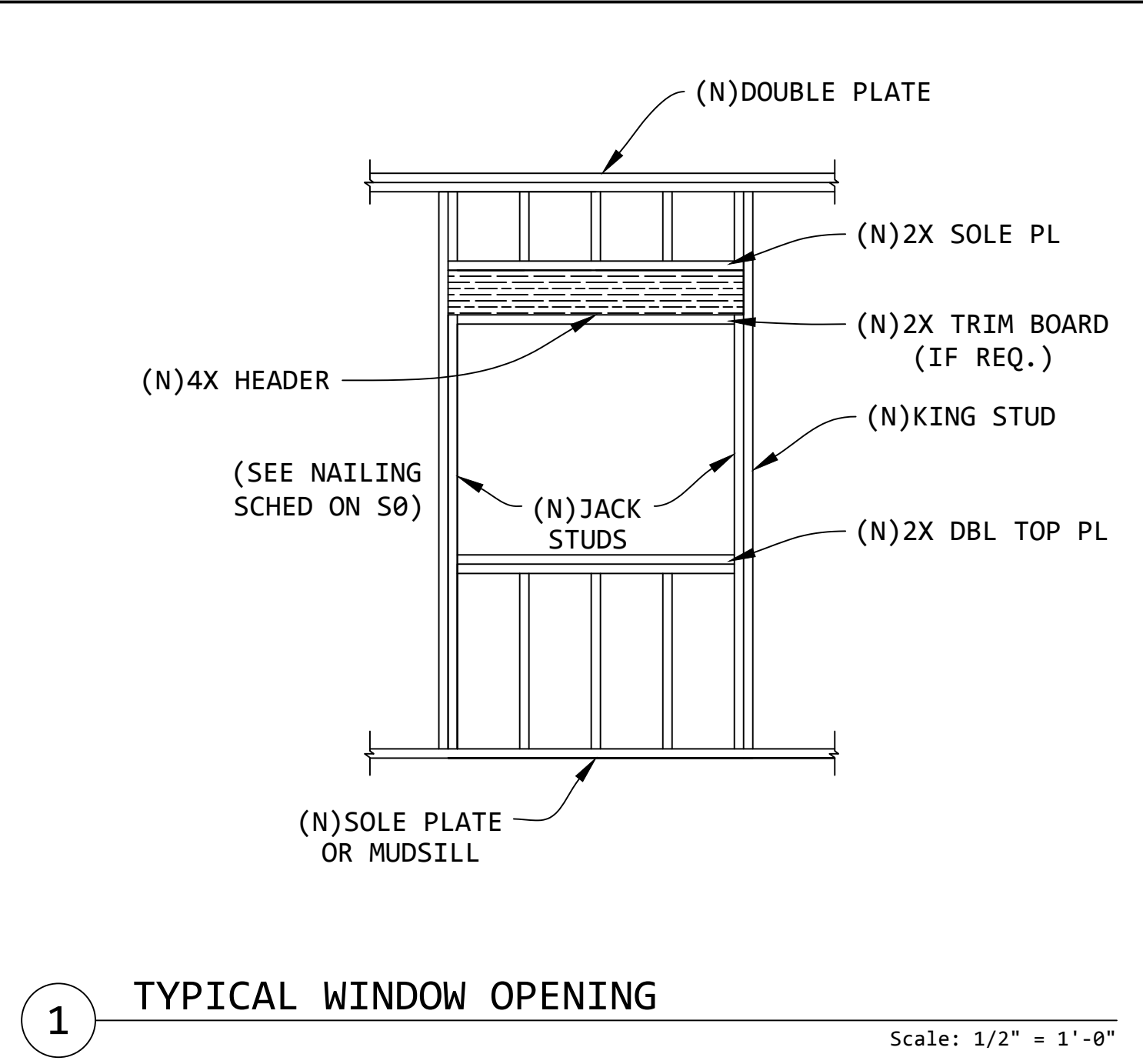
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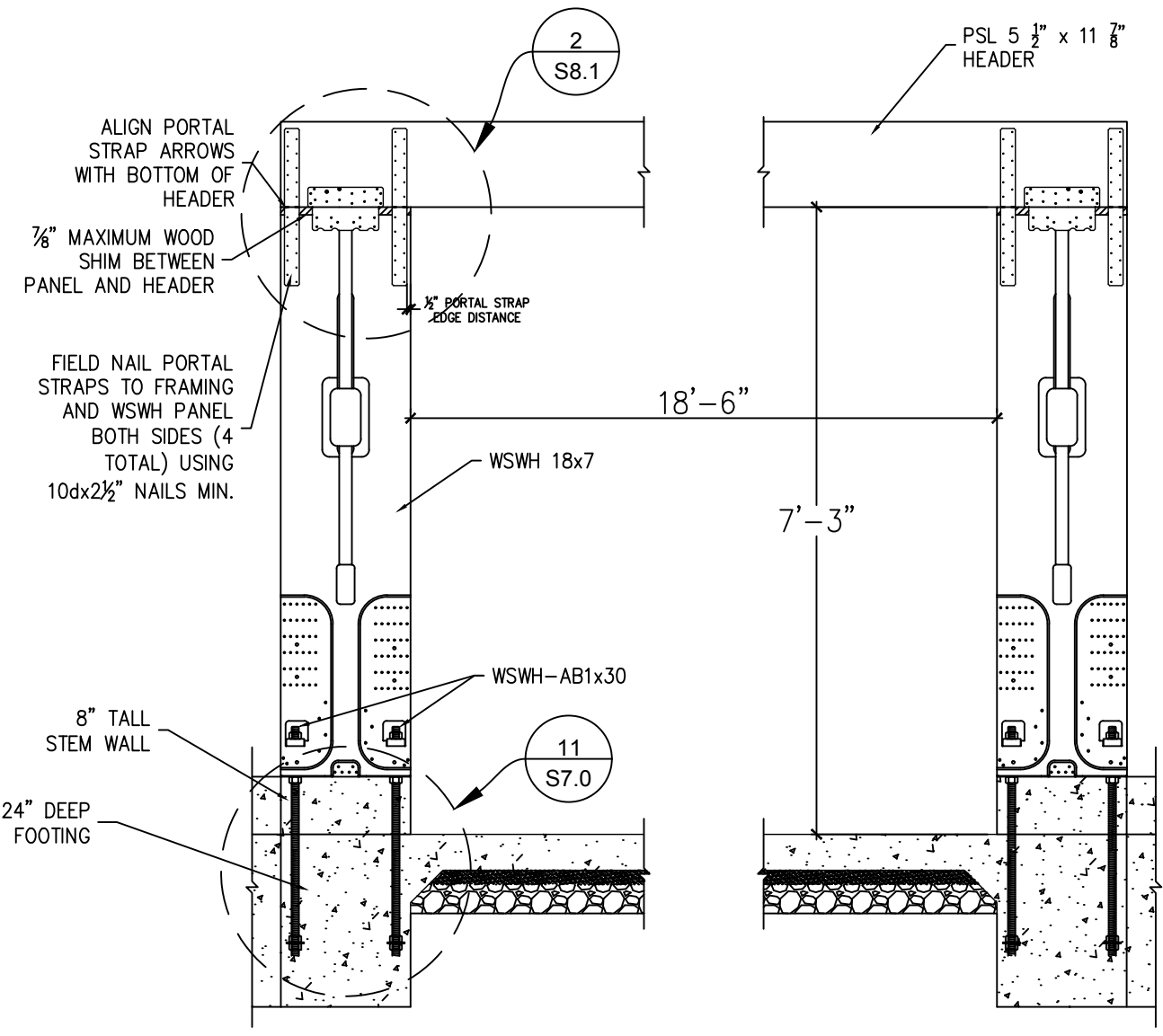
NEW ADU
 836 PARK AVENUE
 MOSS BEACH, CA. 94038

WOOD DETAILS

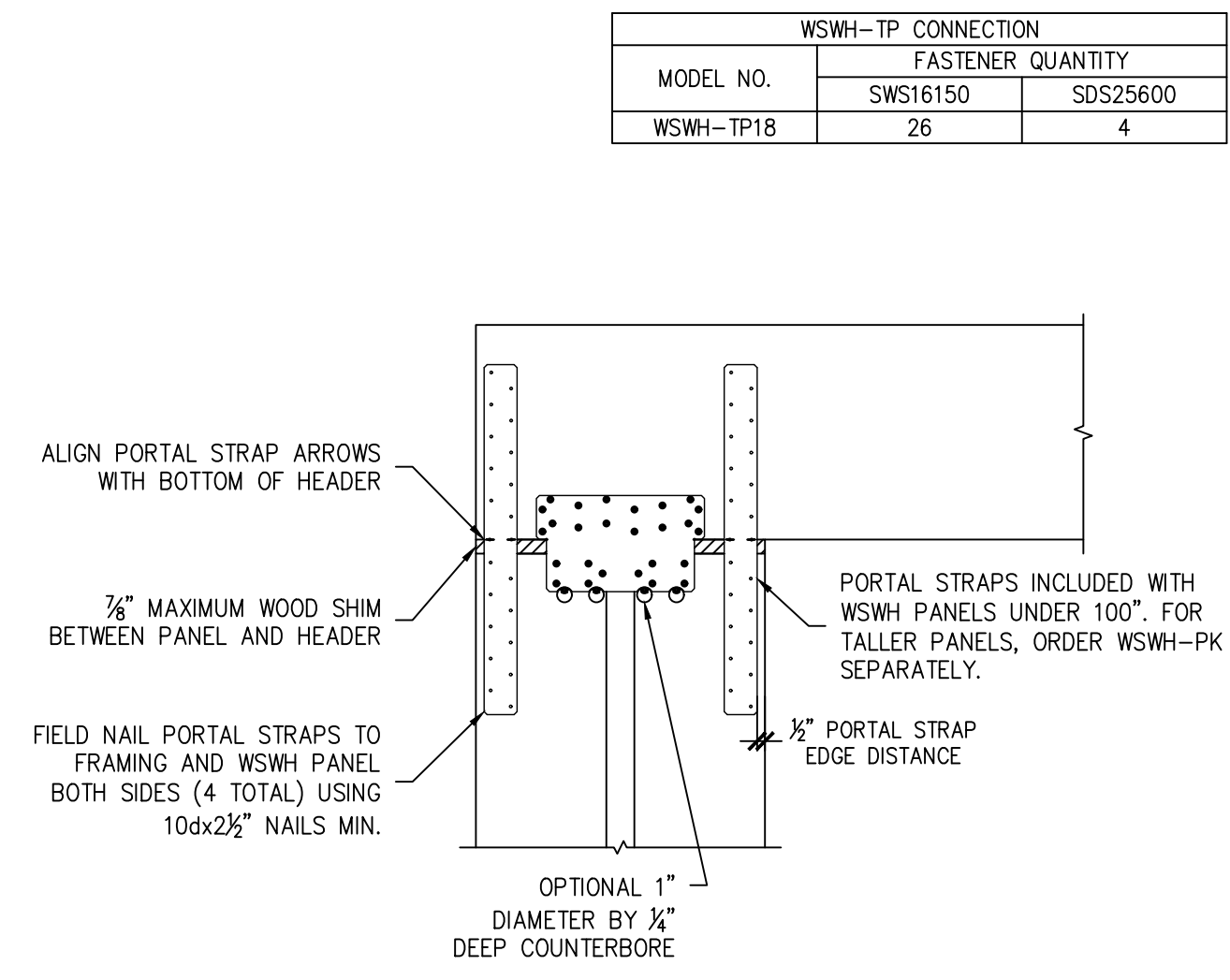
DATE: 06-30-2022
 SCALE: AS SHOWN
 DRAWN: ----
 SHEET:

S8.0

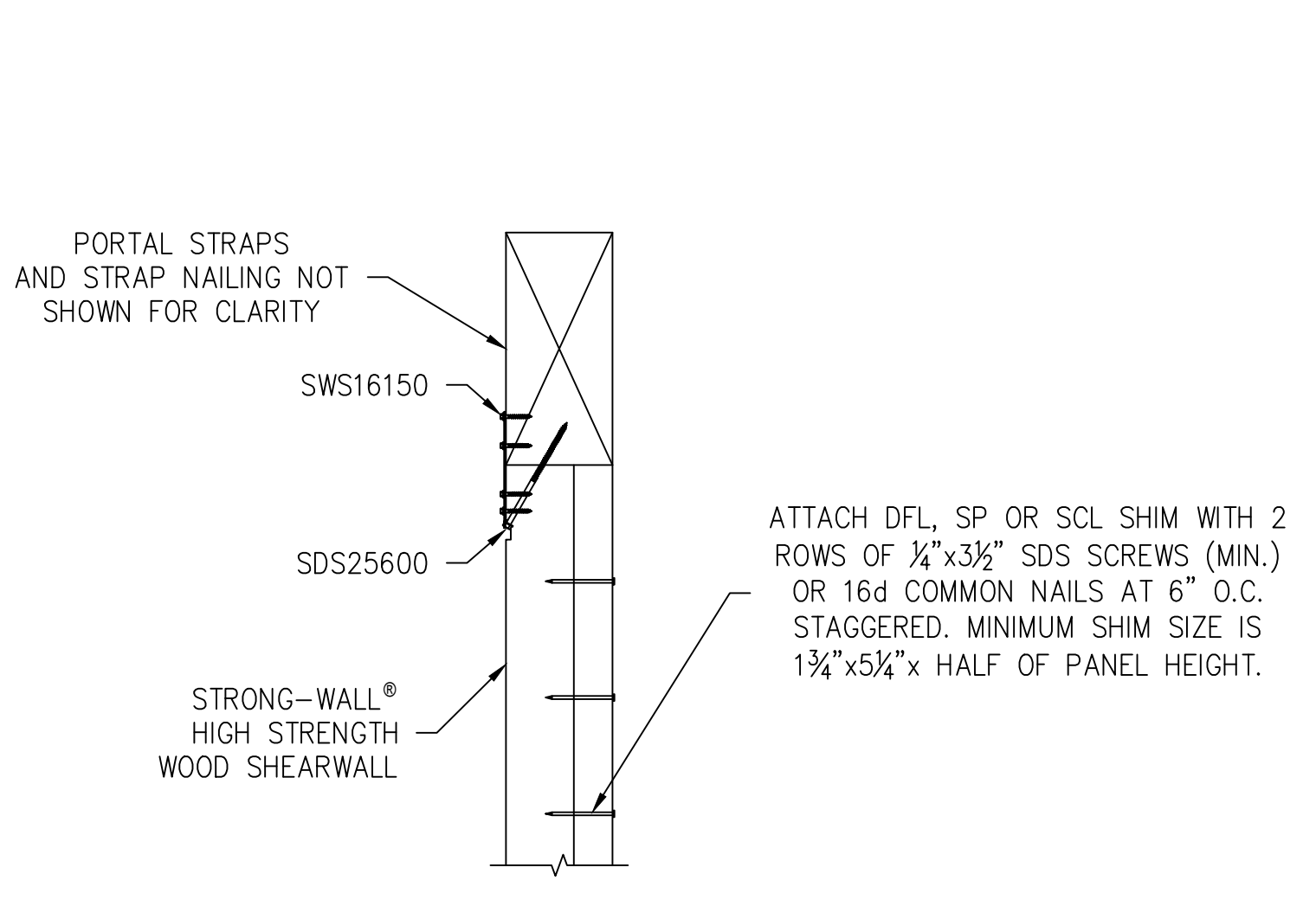




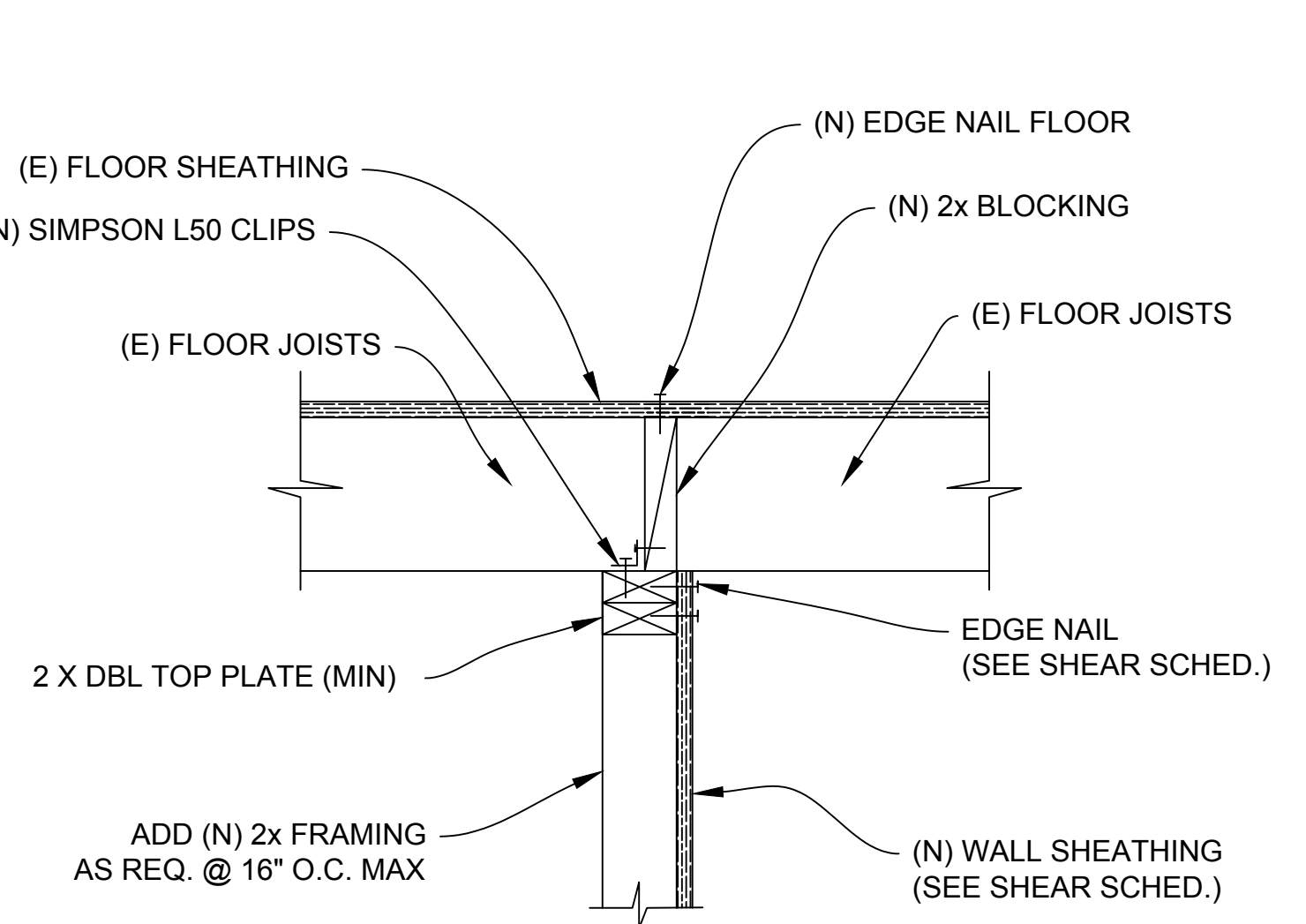
1 GARAGE PORTAL FRAME
Scale: 1/2" = 1'-0"



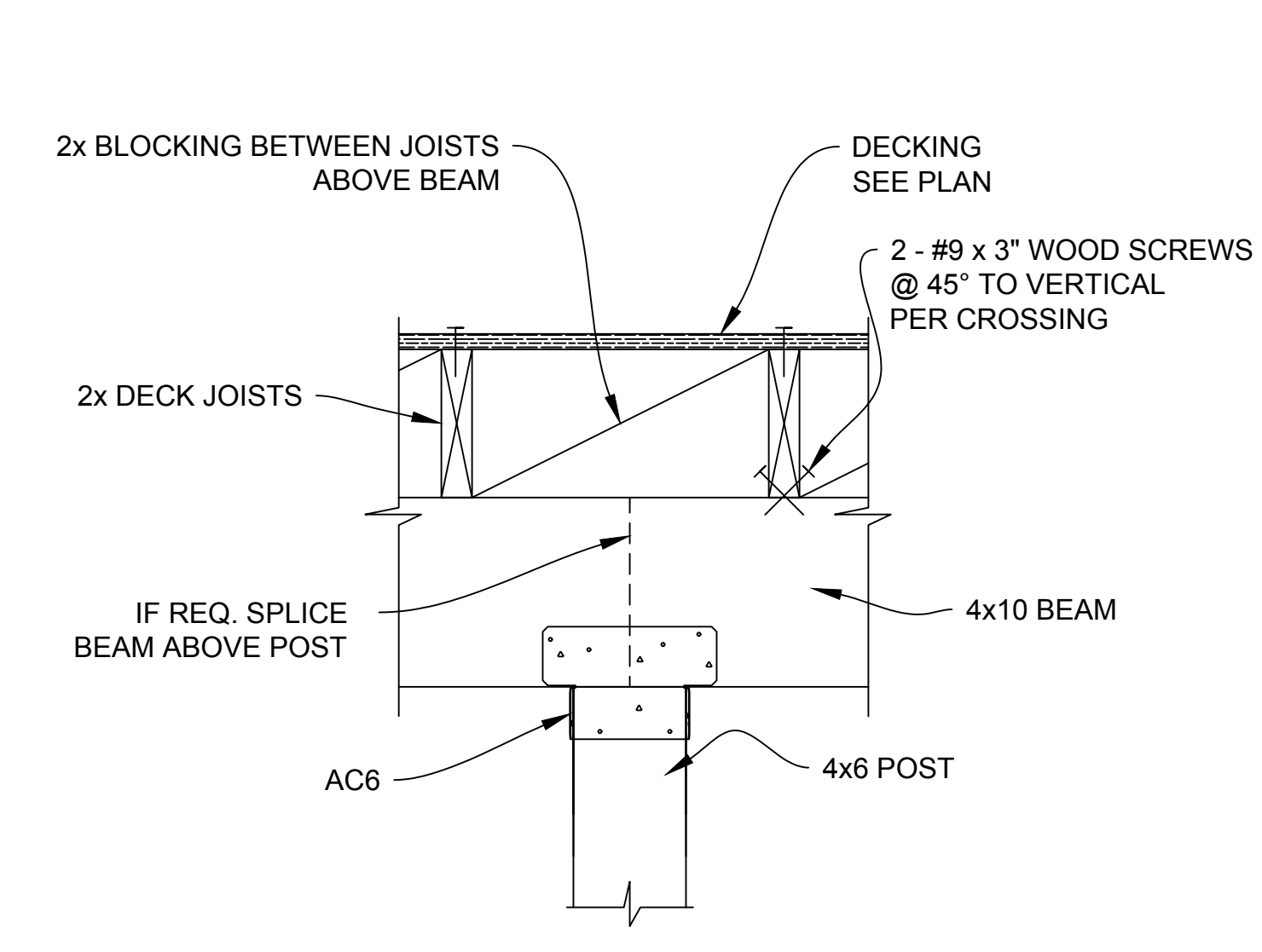
2 GARAGE PORTAL FRAME
NO SCALE



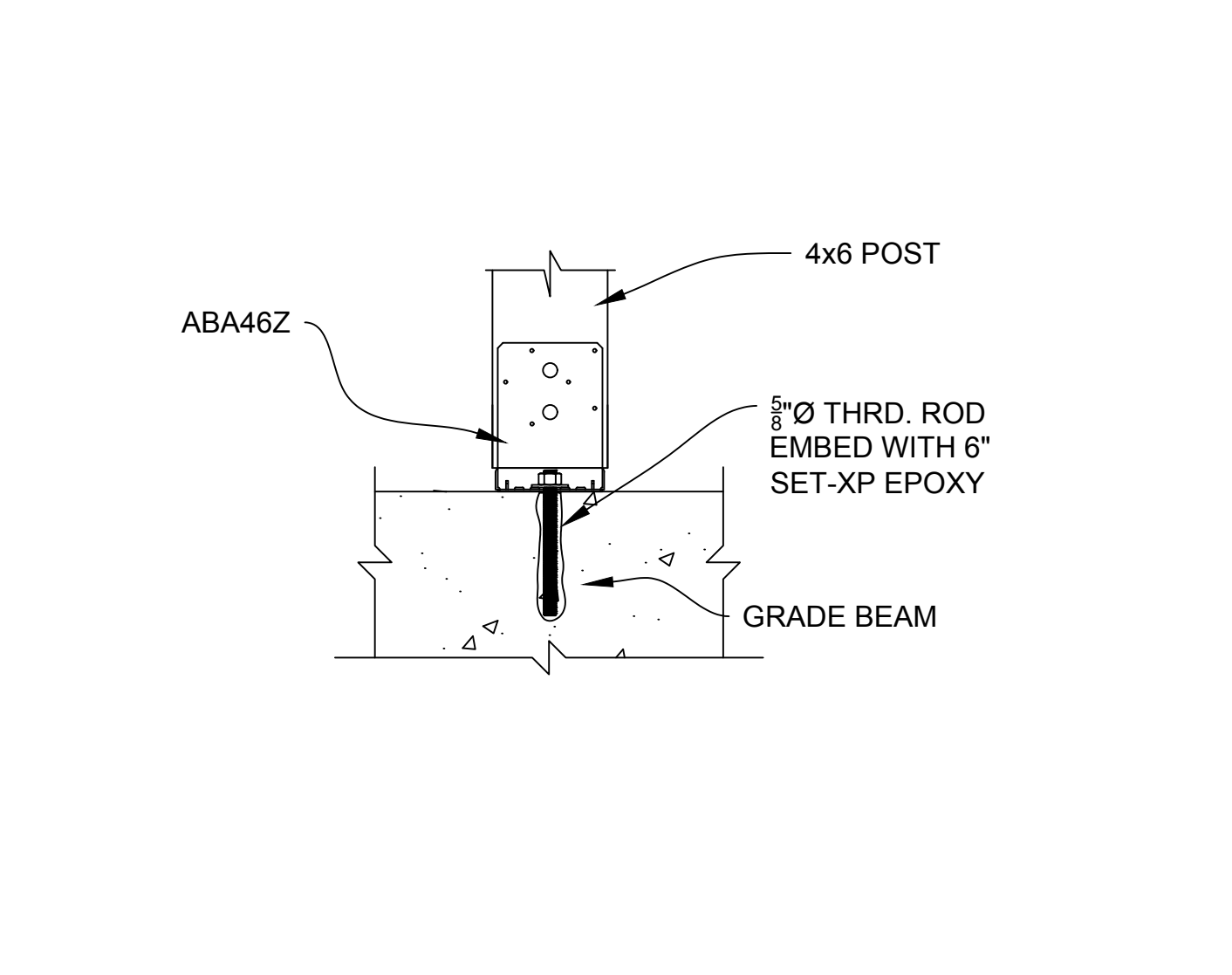
3 WSWH FURRING
NO SCALE



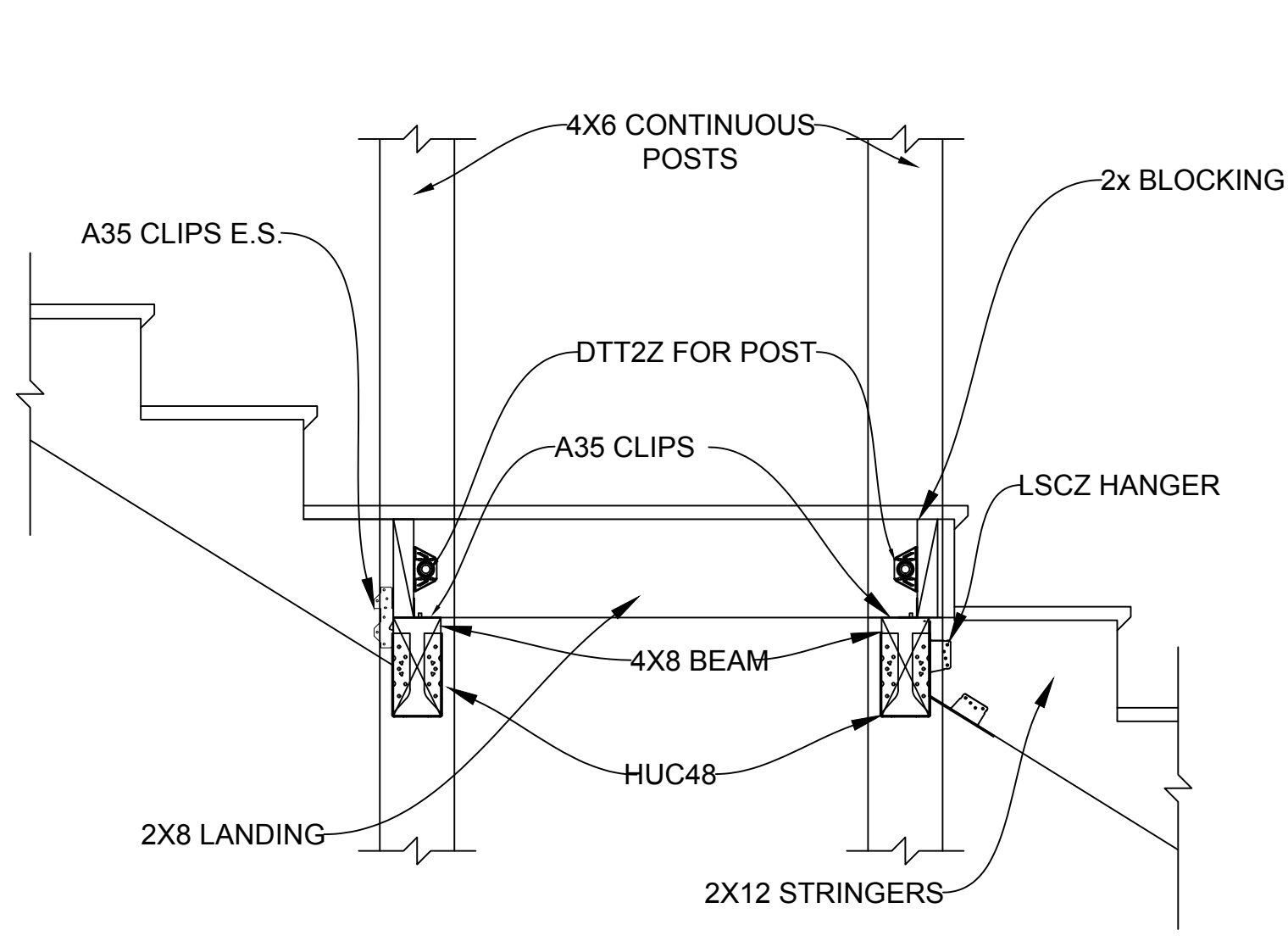
4 SHEAR TRANSFER FROM DECK ABOVE
SCALE: 1-1/2" = 1'-0"



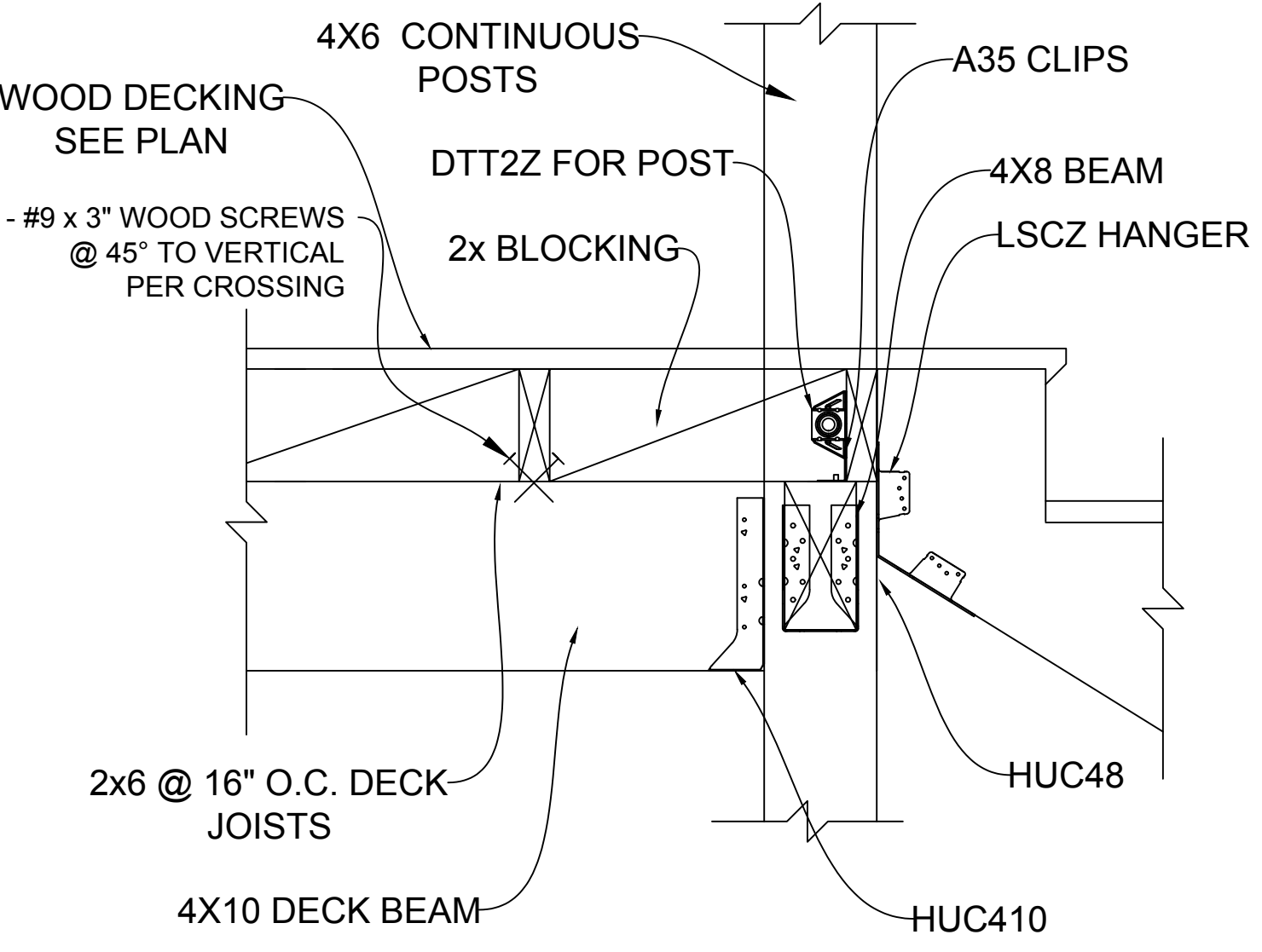
5 POST TO BEAM CONNECTION - DECK
Scale: 1-1/2" = 1'-0"



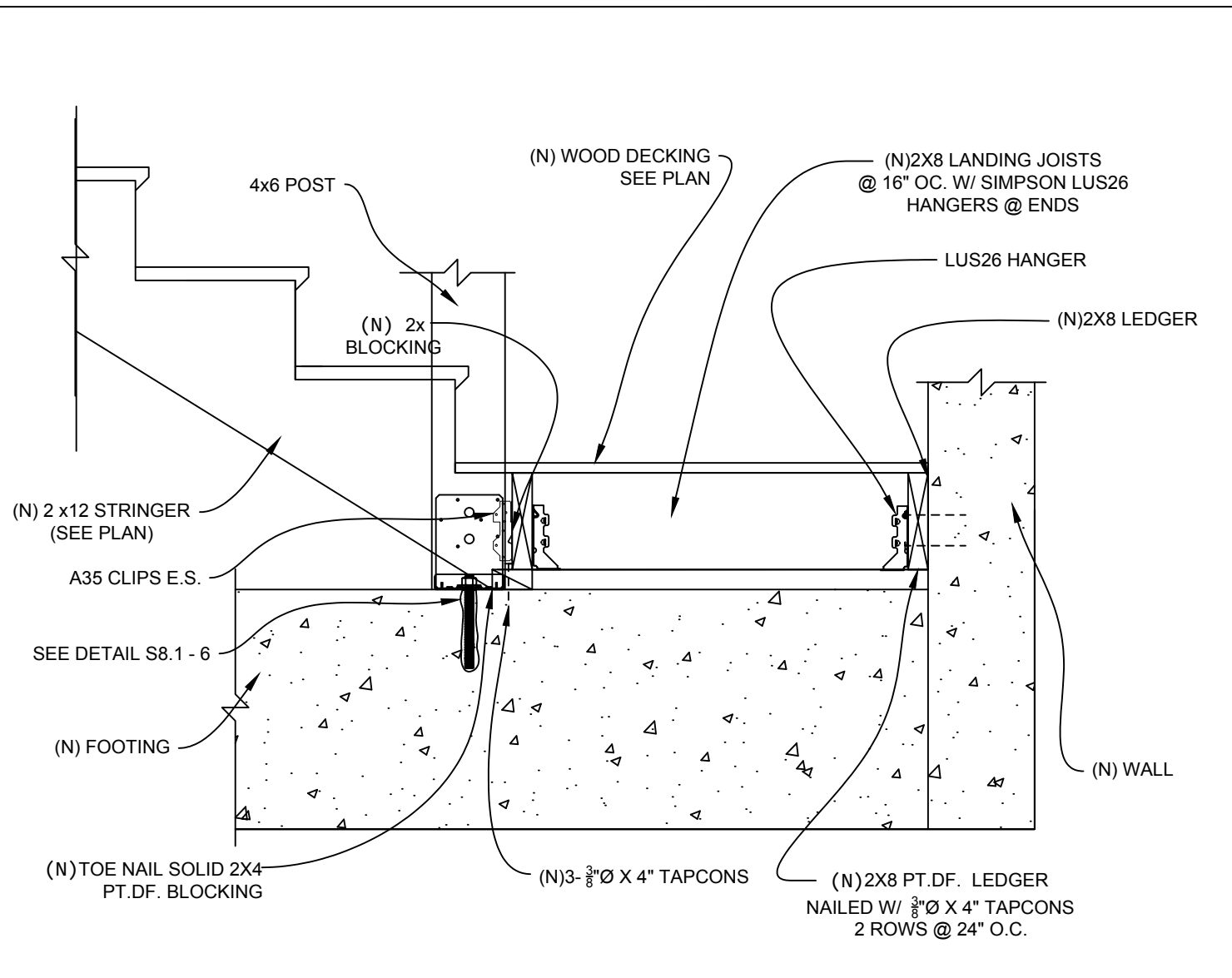
6 BASE CONNECTION - DECK
Scale: 1-1/2" = 1'-0"



7 STAIR LANDING - MID
Scale: 1" = 1'-0"



8 TOP OF STAIRS
Scale: 1-1/2" = 1'-0"



7 STAIR LANDING - LOWER
Scale: 1" = 1'-0"

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NEW ADU
836 PARK AVENUE
MOSS BEACH, CA. 94038

WOOD DETAILS

DATE: 06-30-2022

SCALE: AS SHOWN

DRAWN: ----

SHEET:

S8.1

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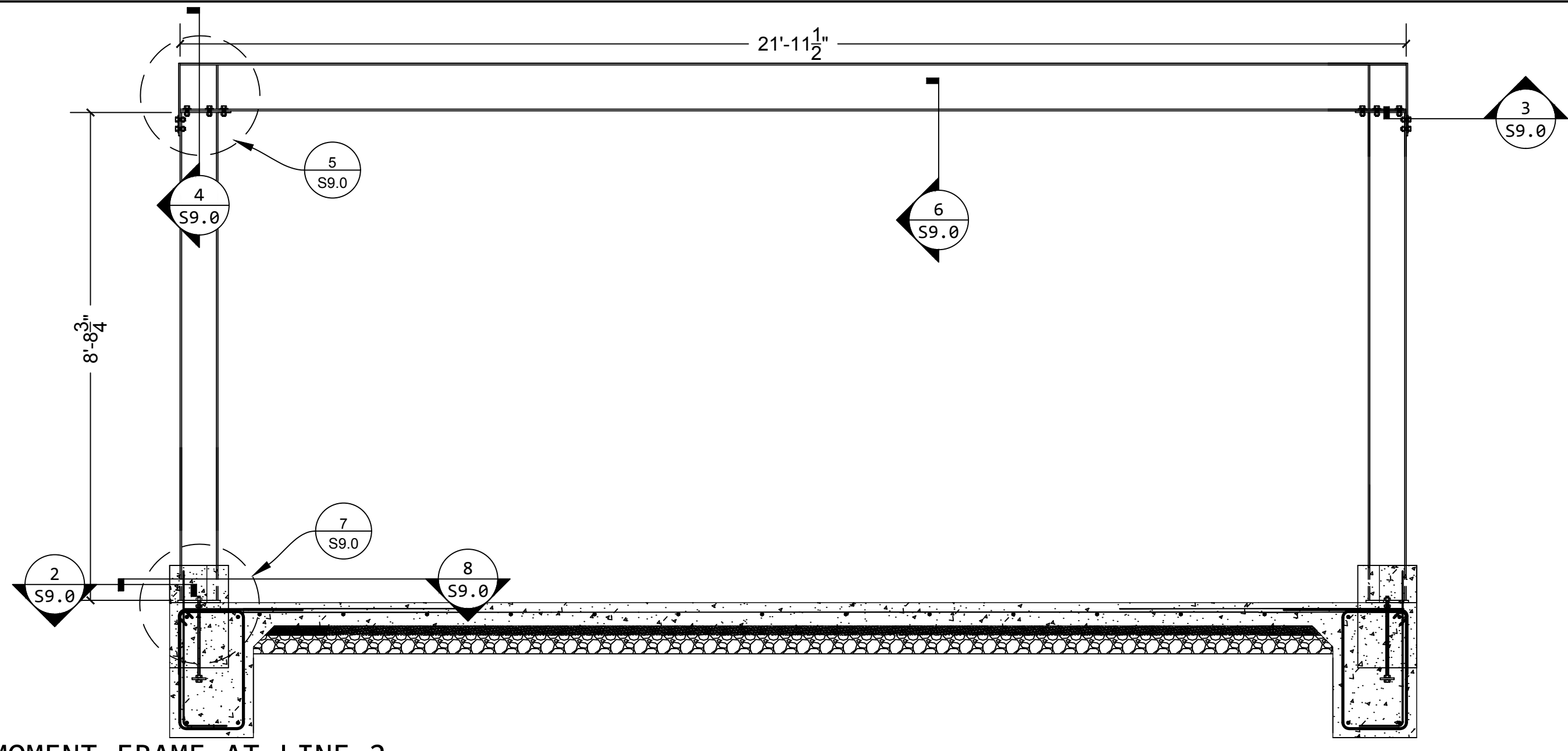
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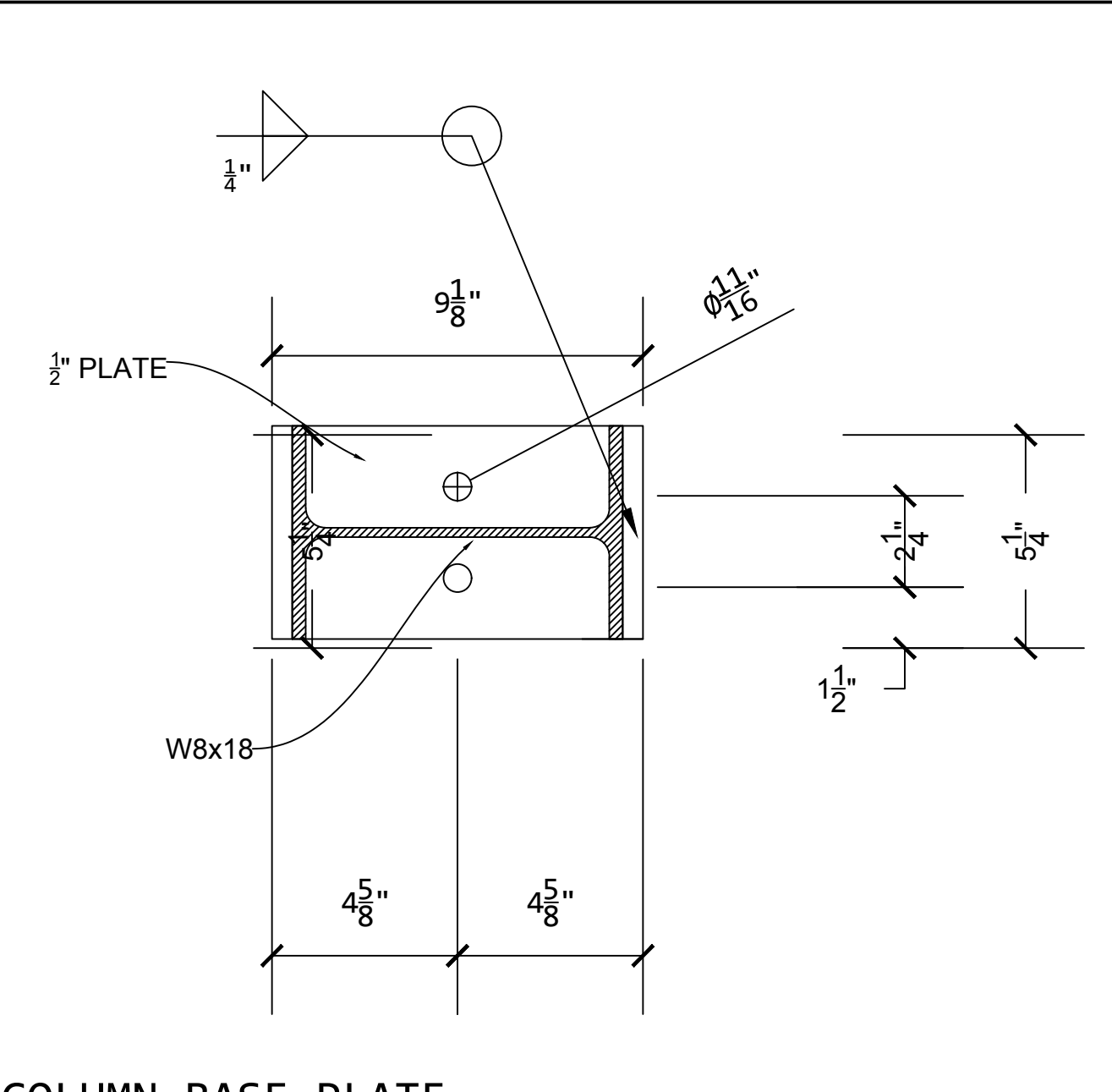
STEEL DETAILS

DATE: 06-30-2022
 SCALE: AS SHOWN
 DRAWN: ---
 SHEET NO:

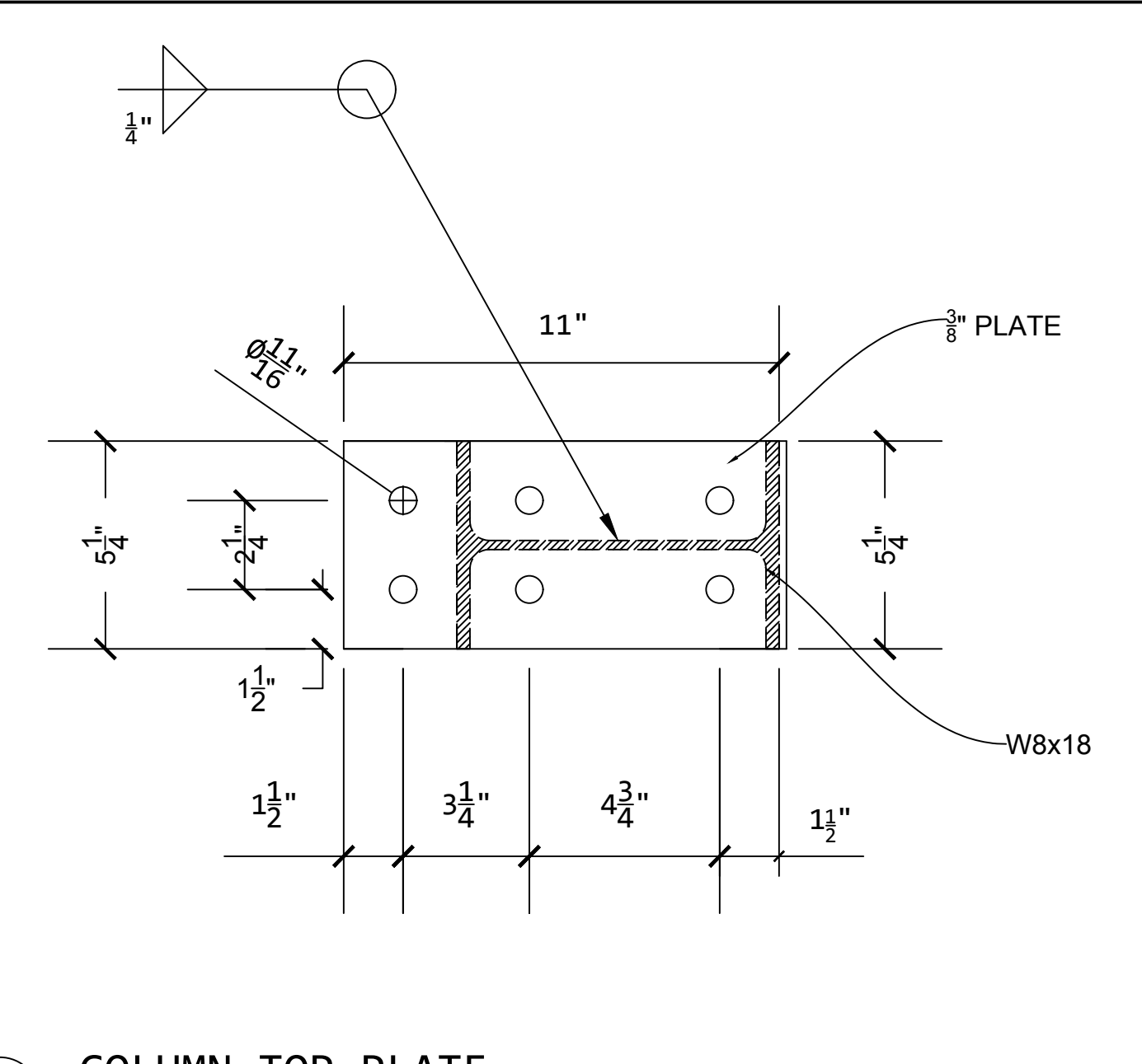
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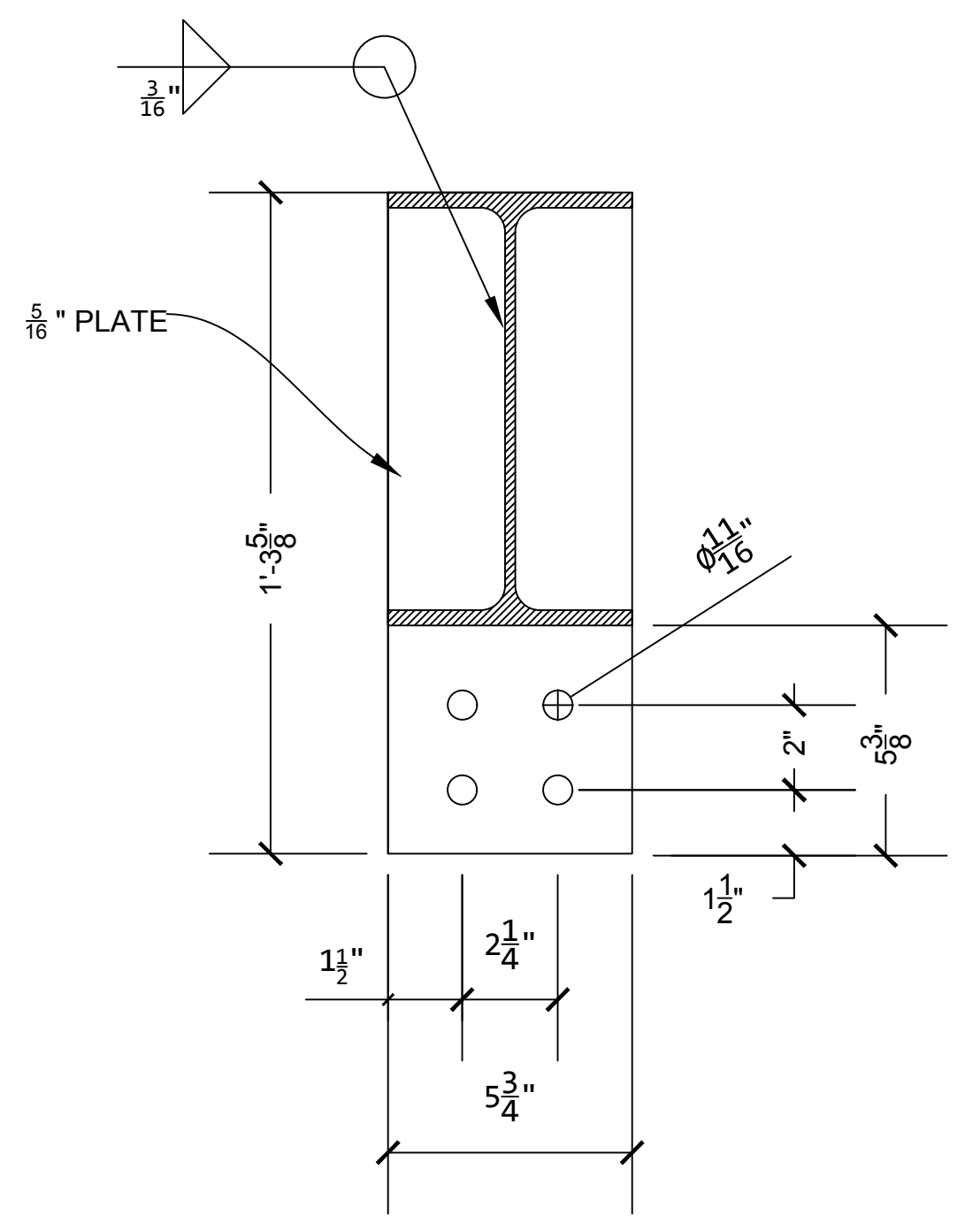
1 MOMENT FRAME AT LINE 2 Scale: 1/2" = 1'-0"



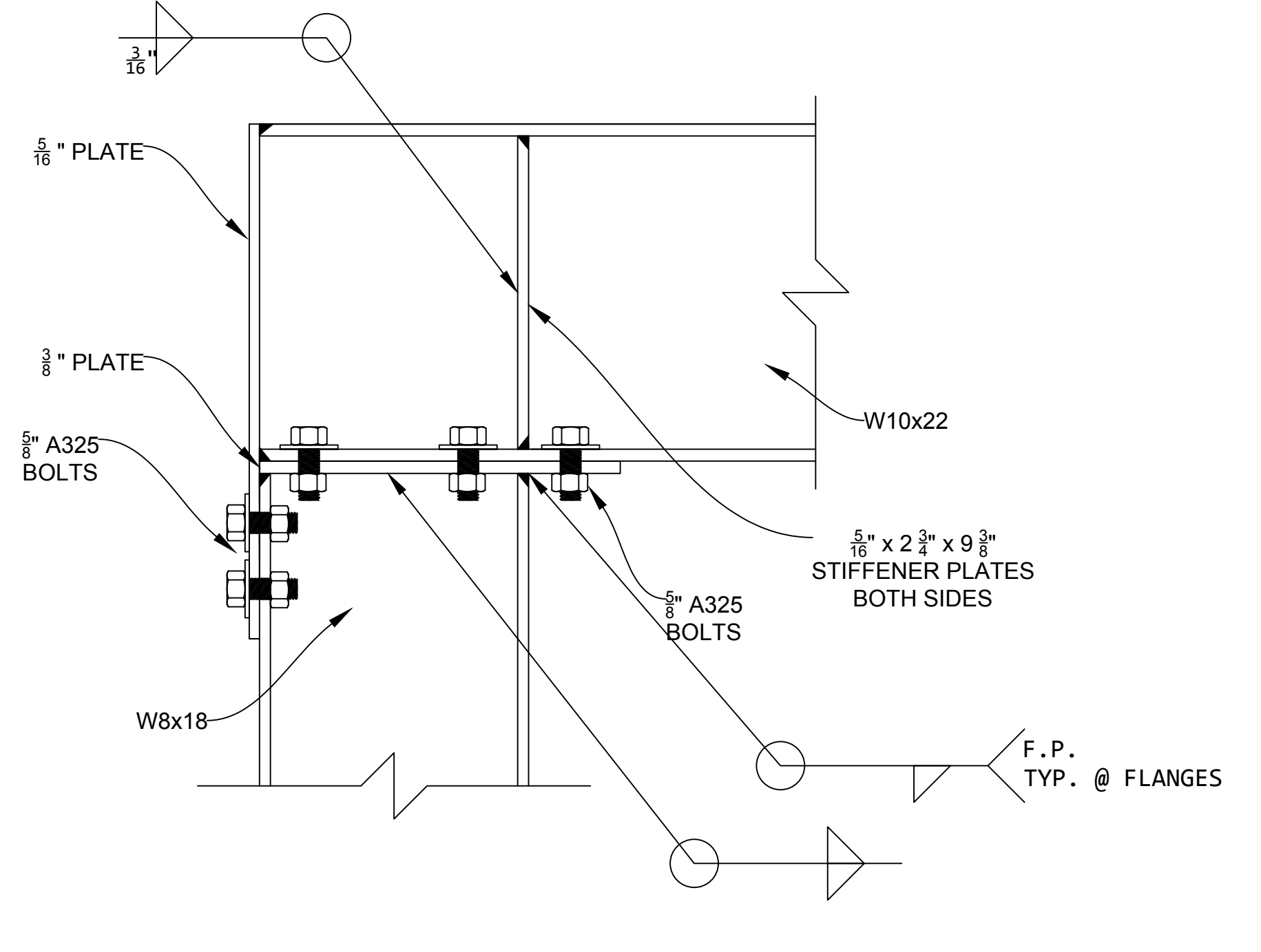
2 COLUMN BASE PLATE Scale: 3" = 1'-0"



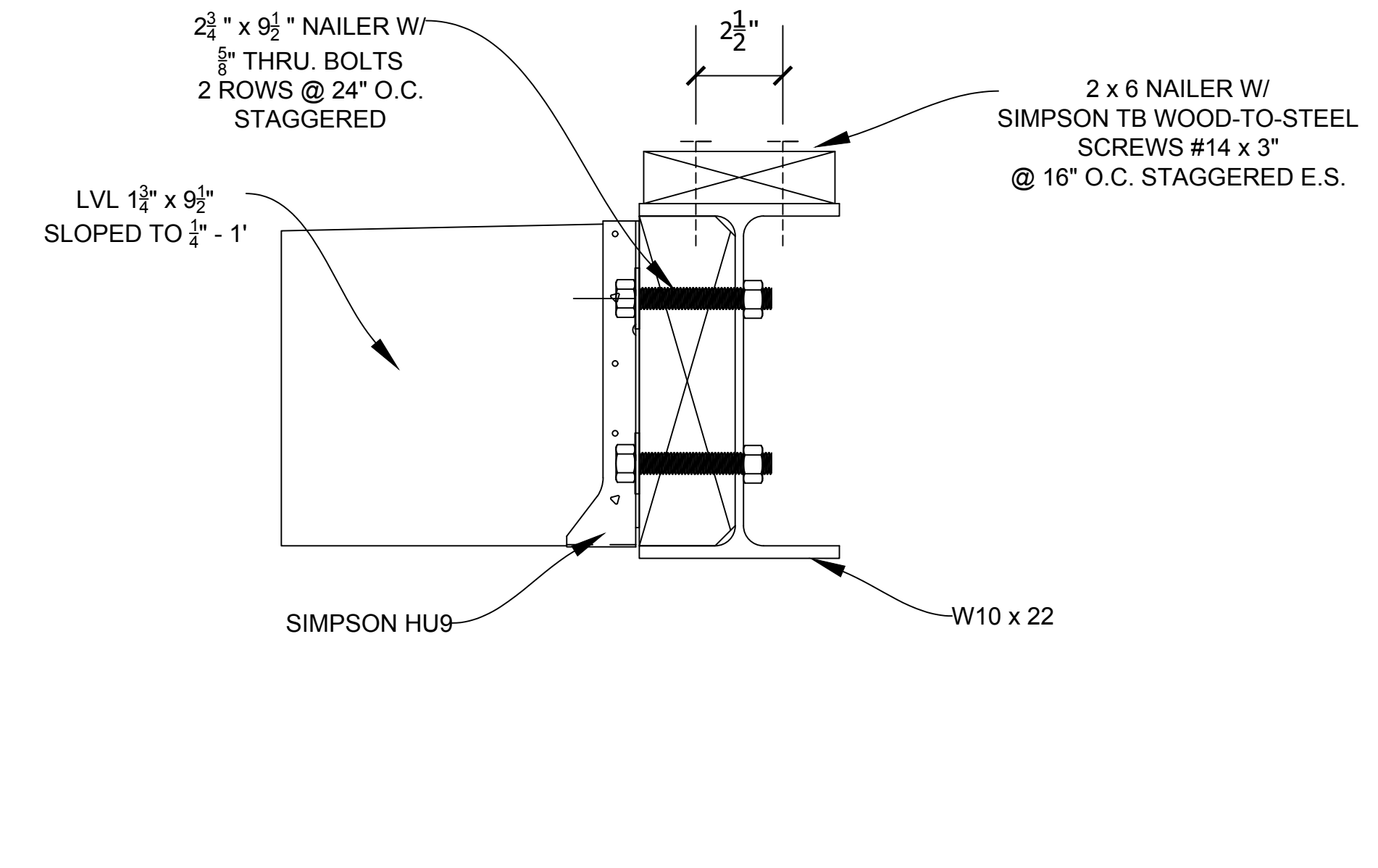
3 COLUMN TOP PLATE Scale: 3" = 1'-0"



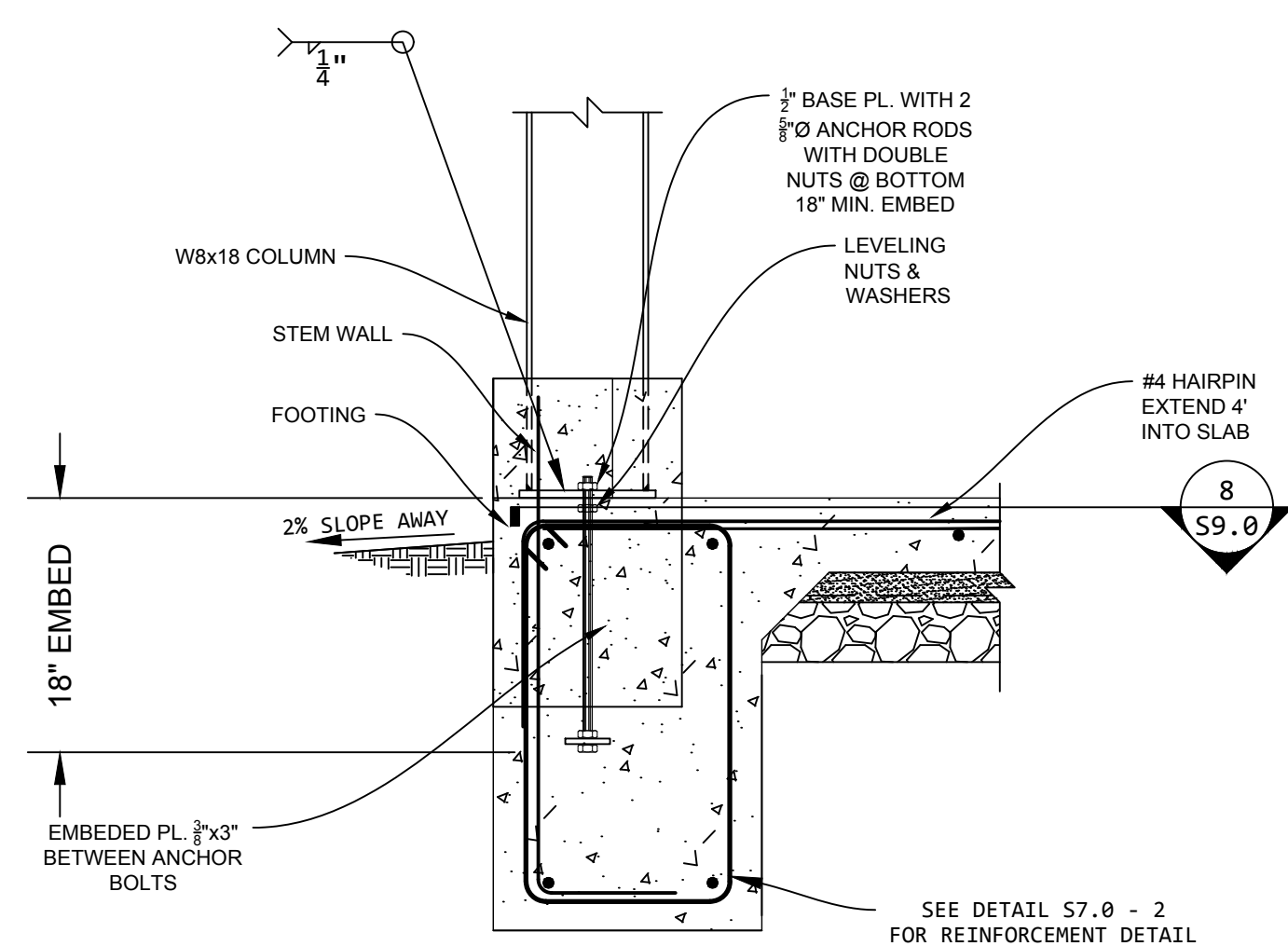
4 BEAM END PLATE Scale: 3" = 1'-0"



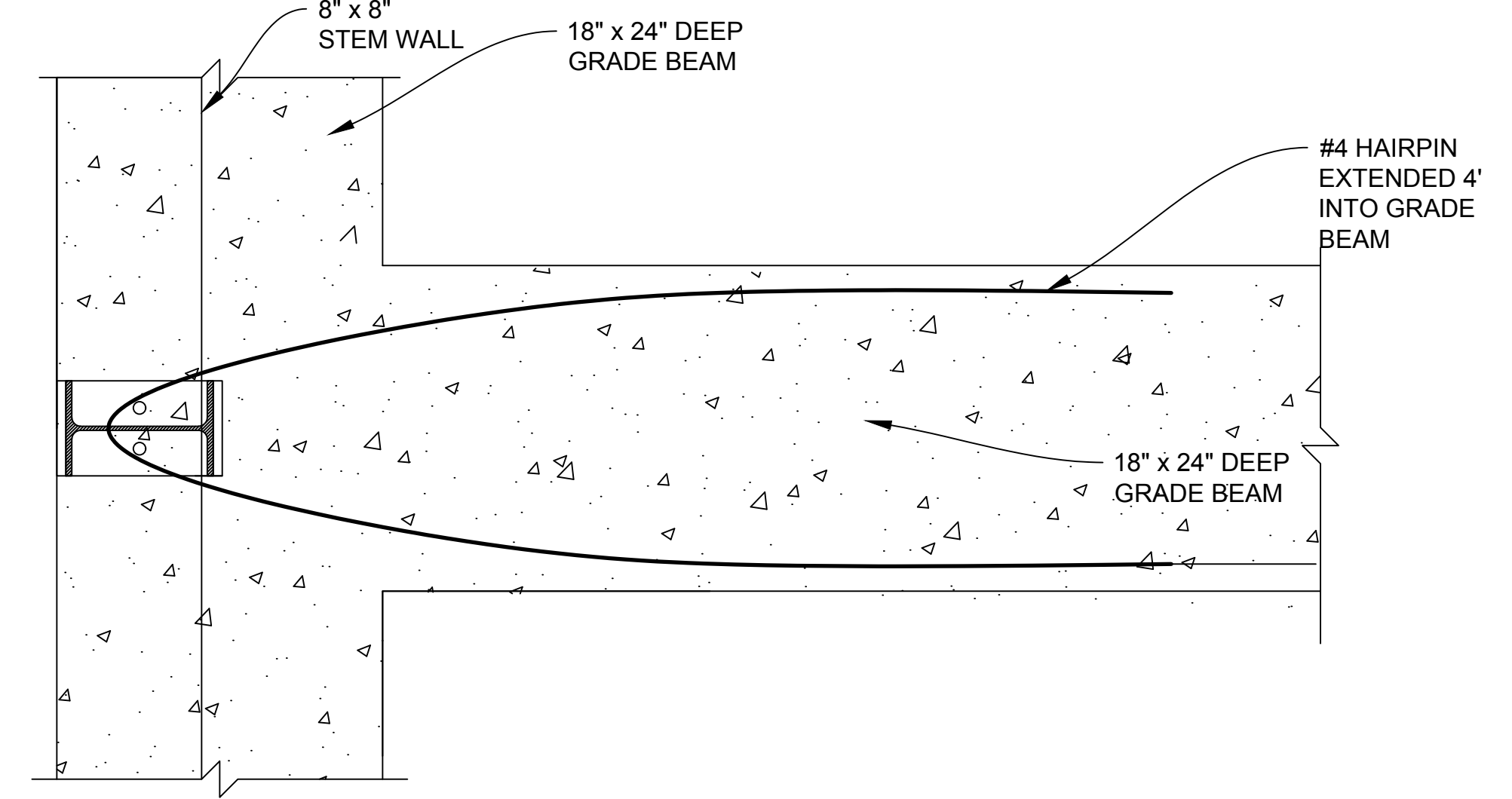
5 COLUMN - BEAM CONNECTION Scale: 3" = 1'-0"



6 BEAM DETAIL Scale: 3" = 1'-0"



7 (N) MOMENT FRAME FOOTING Scale: 1-1/2" = 1'-0"



8 FOOTING HAIRPIN Scale: 1-1/2" = 1'-0"

REVISIONS	BY
△ JUN. 6, 2023	

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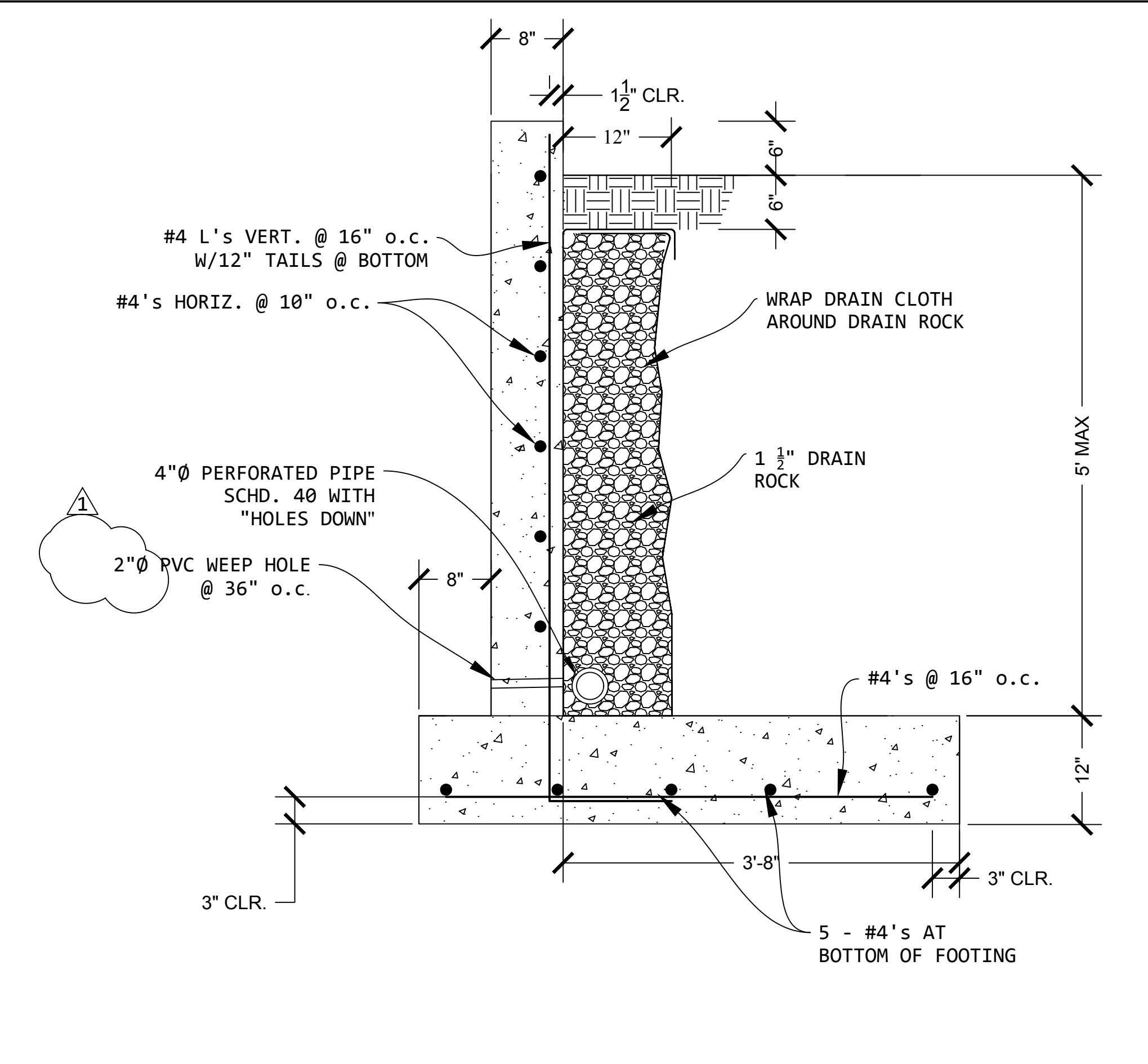
7/18/2023

GRADING AND DRAINAGE
 836 PARK AVE.
 MOSS BEACH, CA. 94038

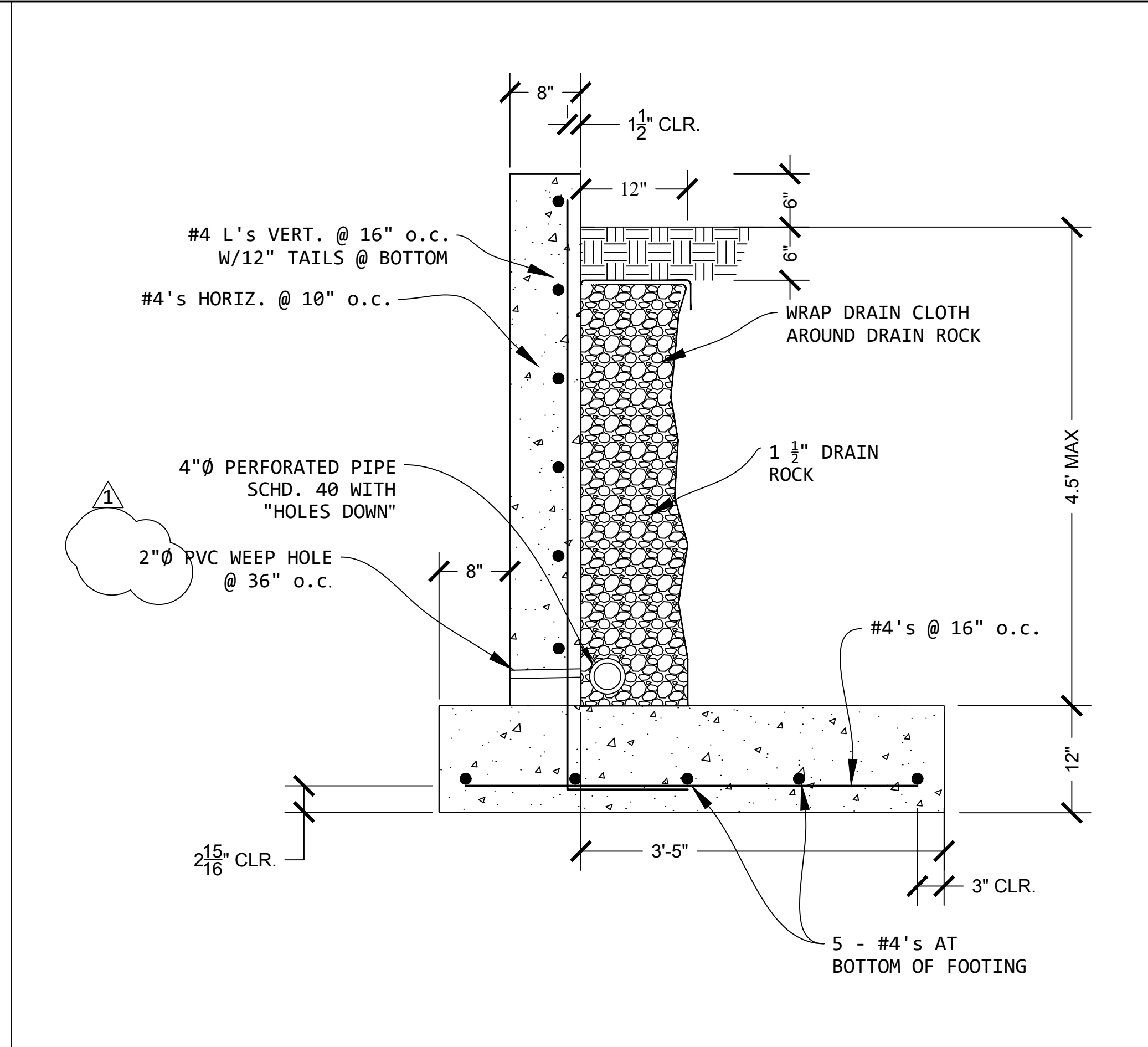
RETAINING WALL DETAILS

DATE: 06/30/2022
 SCALE: AS SHOWN
 DRAWN: JL
 SHEET NO:

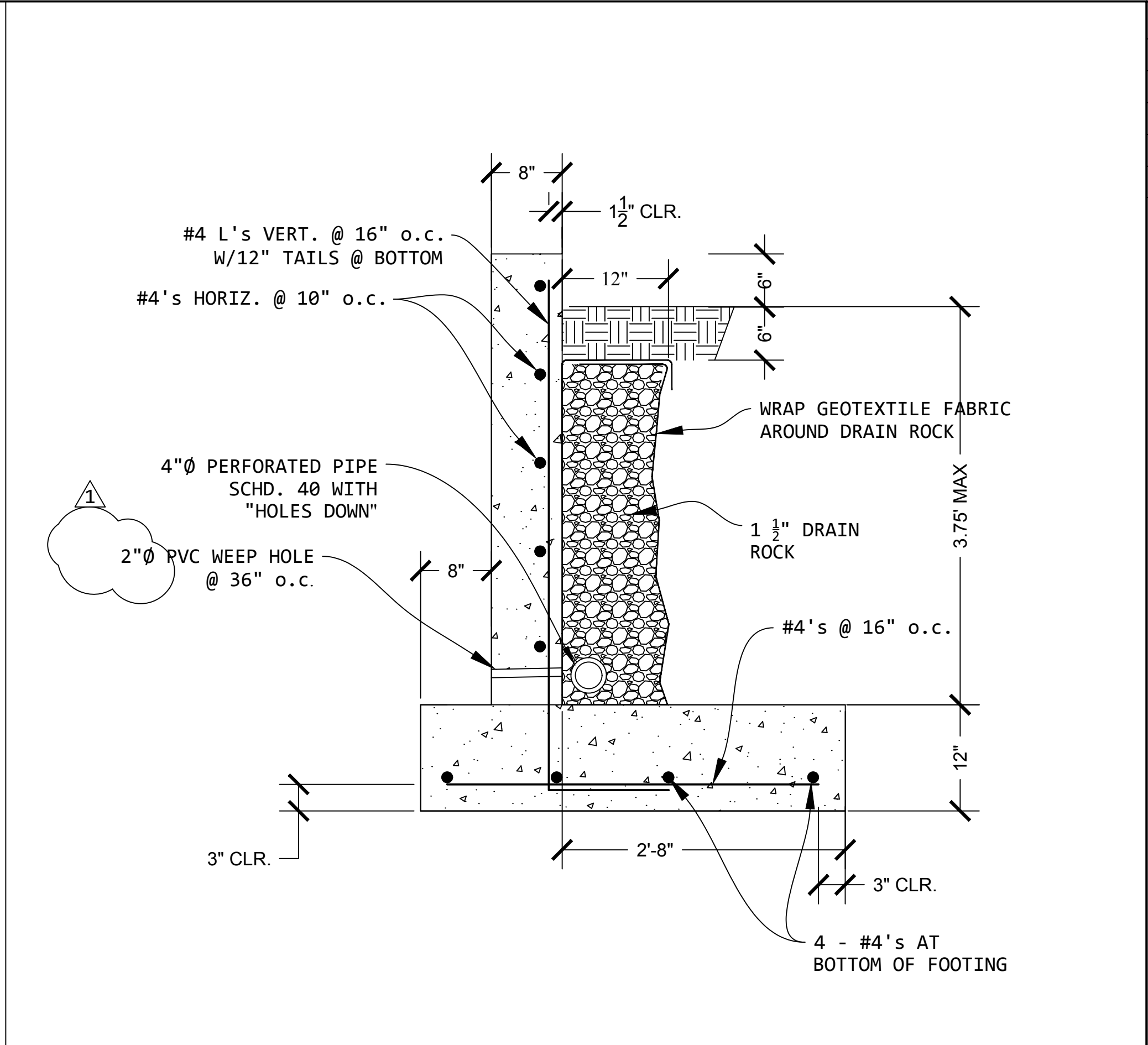
S10.0



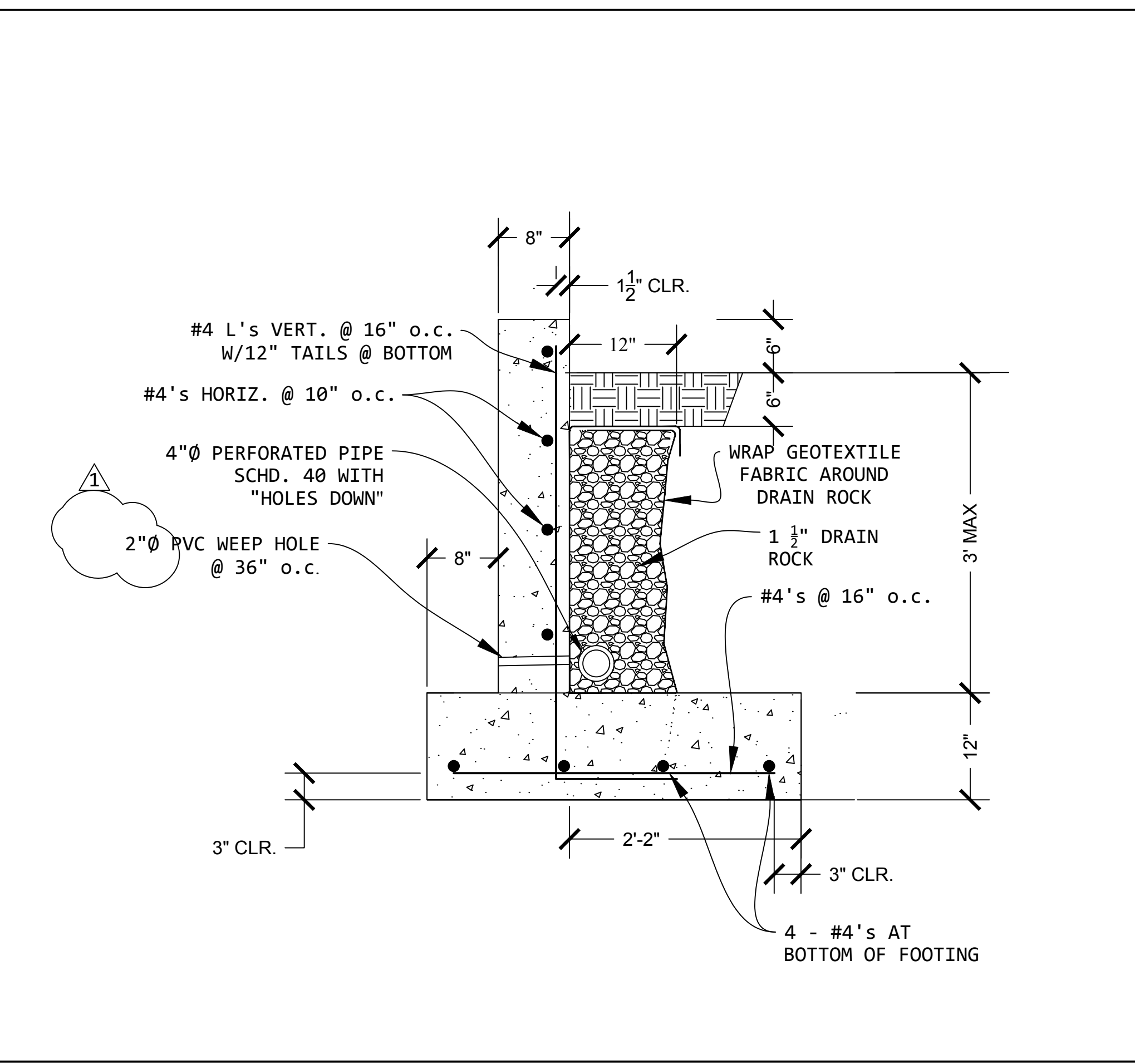
1 5' RETAINING WALL Scale: 1" = 1'-0"



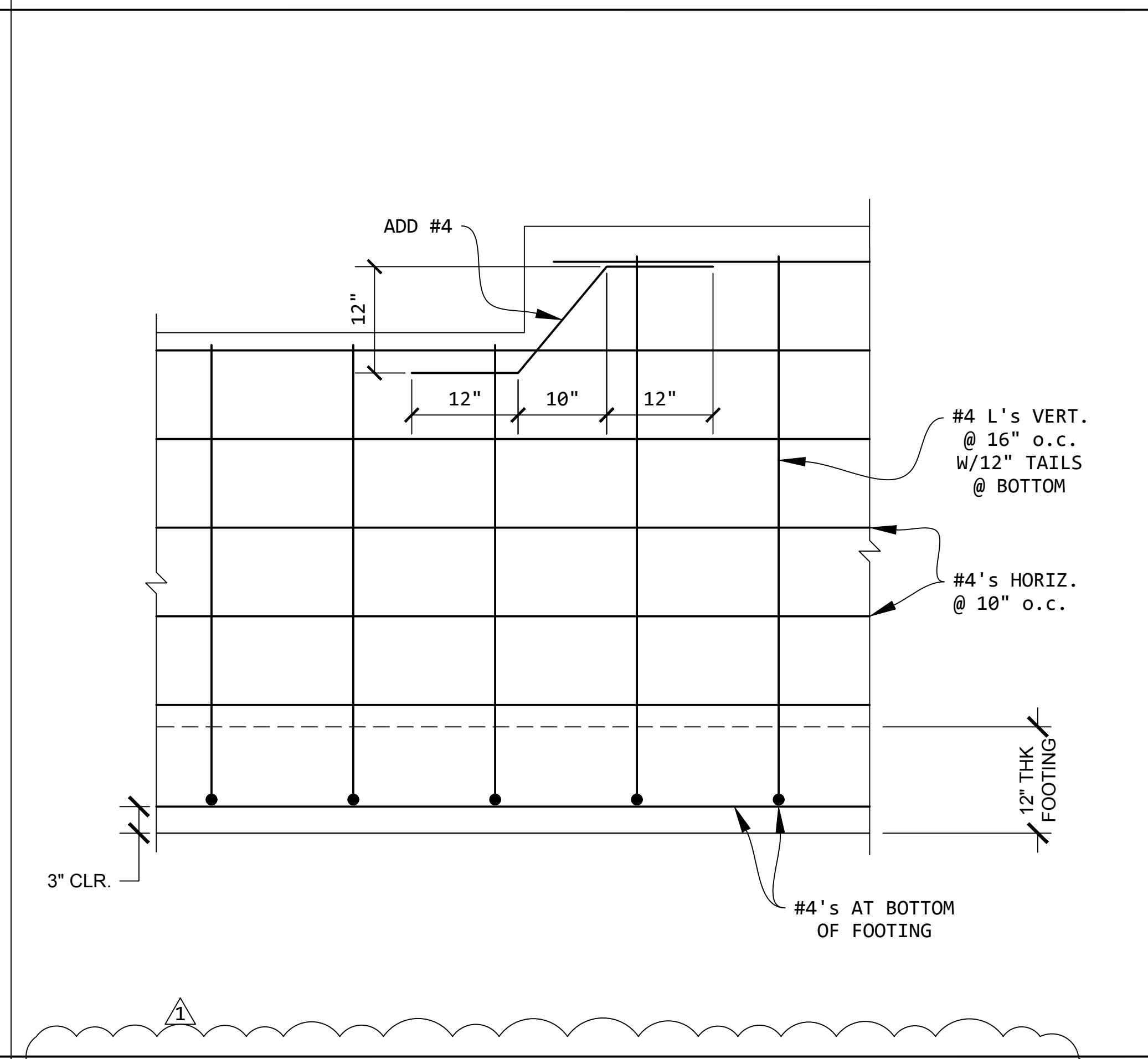
2 4.5' RETAINING WALL Scale: 1" = 1'-0"



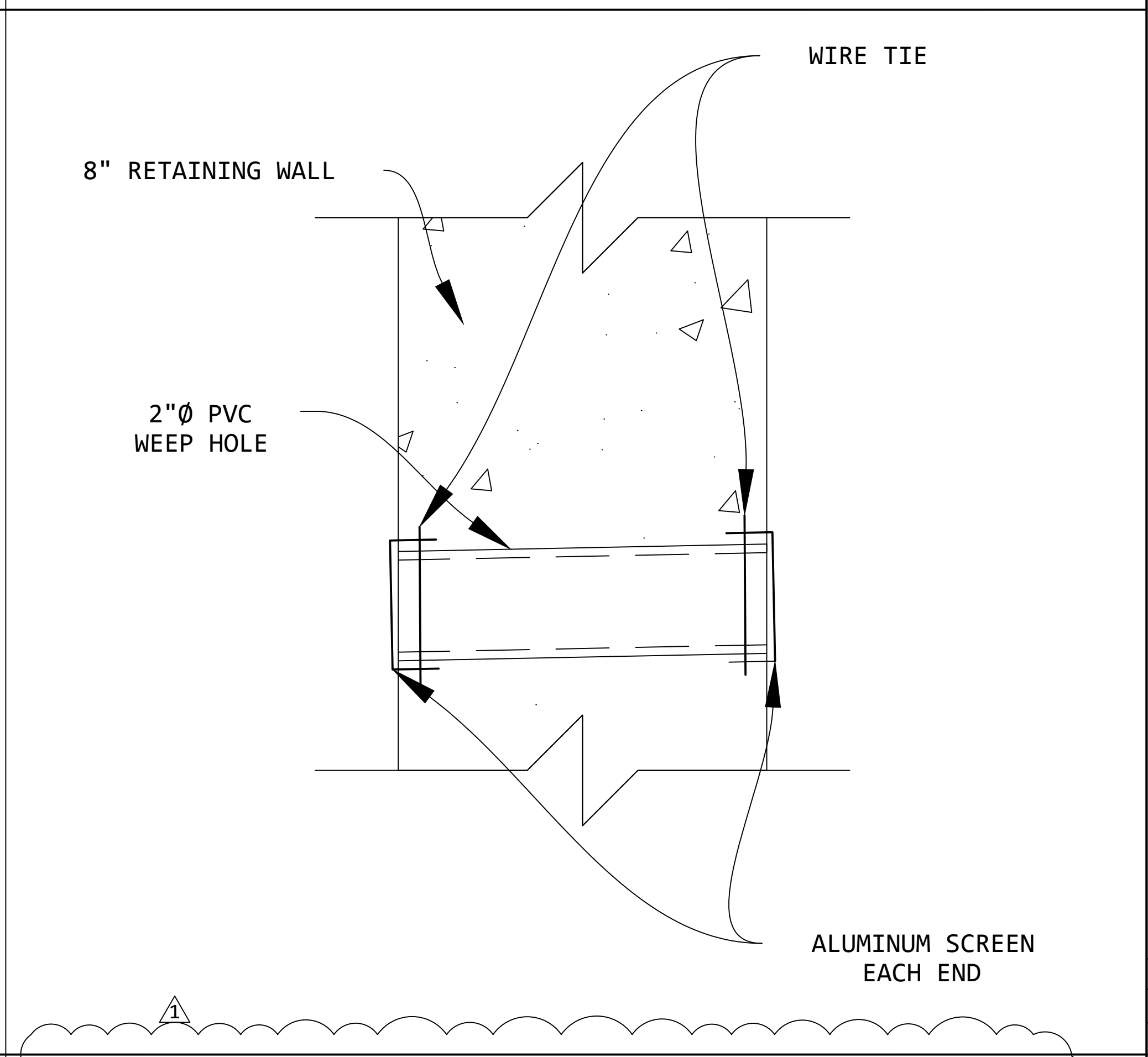
3 3.75' RETAINING WALL Scale: 1" = 1'-0"



4 3' RETAINING WALL Scale: 1" = 1'-0"



5 DETAIL @ STEPPED WALL Scale: 1" = 1'-0"



5 WEEPHOLE DETAIL Scale: NO SCALE