

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
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1:2,256 

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THIS MAP IS NOT TO BE USED FOR NAVIGATION

Planning and Building Department

455 County Center, 2nd Floor • Redwood City, CA • 94063  
 Mail Drop: PLN 122 • TEL (650) 363-4161 • FAX (650) 363-4849

**Certificate of Exemption  
 or Exclusion from a Coastal  
 Development Permit**

Permit #: PLN 2015-00404  
 Permit #: BLD \_\_\_\_\_

Permanent Record  
 Microfilming Required

**1. Basic Information**

**Owner**  
 Name: DEBRA KESSLER & LOUIS MICHELT  
 Address: 163 CARMEL AV.  
EL GRANADA, CA  
 Zip: 94018  
 Phone, W: \_\_\_\_\_ H: \_\_\_\_\_  
 Email Address: \_\_\_\_\_

**Applicant**  
 Name: HERRING & WORLEY, INC.  
 Address: 1658 EL CAMINO REAL  
SAN CARLOS, CA  
 Zip: 94070  
 Phone, W: 650/591-1441 H: \_\_\_\_\_  
 Email Address: flh1741@sbcglobal.net

**2. Project Information**

**Project Description:**  
NEW SINGLE-FAMILY RESIDENCE ON  
UNIMPROVED PARCEL  
 \_\_\_\_\_  
 \_\_\_\_\_  
**Assessor's Parcel Number(s):**  
047 — 105 — 090  
 \_\_\_\_\_  
 \_\_\_\_\_

**Existing water source:**  
 Utility connection \_\_\_\_\_  
 Well \_\_\_\_\_  
**Proposed water source:**  
 Utility connection \_\_\_\_\_  
 Well \_\_\_\_\_  
**Staking of well location and property lines are required.**  
 Provide site plan depicting location and all trees.  
 Will this require any grading or vegetation/tree removal? Yes  No   
 If Yes, additional permits may be required. Such as: Tree Removal Permit, Grading Permit, Land Clearing Permit, Coastal Development Permit.

**3. Signatures**

We have reviewed this form as completed above and the basis for this exemption or exclusion. The information herein and the basis for exemption or exclusion are true and correct to the best of our knowledge and we hereby agree to carry out this project in accordance with the terms of the exemption/exclusion category selected on reverse. We also understand and agree that any exemption or exclusion issued for a water well and/or storage tank in the single family exclusion area will be invalidated in the event the future house, the well, and/or storage tank requires a variance. **HERRING & WORLEY, INC.**

Debra A. Kessler 7/31/15  
 Owner Date

BY: [Signature] 7/31/15  
 Applicant Date

(Both Owner and Applicant must sign unless this Application for Exemption or Exclusion accompanies a Building Permit Application for which the Applicant is an agent for the Owner acceptable to the Building Inspection Section.)

# Staff Use Only

## 4. Basis of Exemption or Exclusion

Use attached review sheet to determine basis of exemption and whether project qualifies. Review basis of exemption with applicant/owner and initial appropriate category below:

**Initial**

- A. Improvements to Existing Single Family Residence. [PRC 30610(a), CCAG 13250, ZR 6328.5(a)]
- B. Improvements to Existing Structure Other Than Single Family Residence or Public Works Facility. [PRC 30610(b), CCAG 13253, ZR 6328.5(b)]
- C. Existing Navigation Channel. [PRC 30610(c), ZR 6328.5(c)]
- D. Repair or Maintenance Activity. [PRC 30610(d), CCAG 13252, ZR 6328.5(d)]
- E. Single Family Residence Categorical Exclusion Area. [PRC 30610(e), CCAG 13240, AB 643, ZR 6328.5(e)]
- F. Agriculturally-Related Development Categorical Exclusion Area. [PRC 30610(e), CCAG 13240, ORDERS E-79-7 and E-81-1, ZR 6328.5(e)]
- G. Utility Connections. [PRC 30610(f), ZR 6328.5(f)]
- H. Replacement of Structures Following Disasters. [PRC 30610(g), ZR 6328.5(g)]
- I. Emergency Activities. [PRC 30611, ZR 6328.5(h)]
- J. Lot Line Adjustment. [ZR 6328.5(i)]
- K. Land Division for Public Recreation Purposes. [ZR 6328.5(l)]

## 5. Well Inspection - All Coastal Zone Areas

- Required                       Not Required

Inspection made by: \_\_\_\_\_ Date of Inspection: \_\_\_\_\_

Yes	No
<input type="checkbox"/>	<input type="checkbox"/> Removal of trees?
<input type="checkbox"/>	<input type="checkbox"/> If Yes, is tree removal permit included?
<input type="checkbox"/>	<input type="checkbox"/> Trimming of trees?
<input type="checkbox"/>	<input type="checkbox"/> Excessive removal of vegetation?
<input type="checkbox"/>	<input type="checkbox"/> Excessive grading? (If Yes, CDP is required)
<input type="checkbox"/>	<input type="checkbox"/> Erosion control plan required?

Approval of Permit is subject to the following: (check if applicable)

- Submittal and Approval of a Tree Removal Permit
- Submittal and Approval of a Grading Permit
- Submittal and Approval of an Erosion Control Plan
- Submittal and Approval of a Coastal Dev. Permit

## 6. Approval

I have reviewed the above-described project and have determined that it meets all criteria for the exemption/exclusion checked above.

**Exemption/Exclusion is approved.**

-----  
 Planning Department \_\_\_\_\_ Date \_\_\_\_\_

Project is subject to the following condition(s) of approval:  
 \_\_\_\_\_  
 \_\_\_\_\_

## 7. Processing

- Fee collected
- Original Certificate of Exemption to Building Inspection file.
- Copies of Certificate of Exemption to:
  1. Applicant/Owner.
  2. Planning Department Exemption Binder.

- 3. Any relevant Planning or Building Inspection files.
- 4. California Coastal Commission, 45 Fremont Street, Suite 2000, San Francisco, CA 94105
- Update Permit\*Plan Case Screen and Activities

# Environmental Information Disclosure Form

PLN 2015-00404  
 BLD \_\_\_\_\_

Project Address: PALOMA AVE. AT AVE. BALBOA

Name of Owner: DEBRA KESSLER & LOUIS M. MICHETTI

Assessor's Parcel No.: 047 - 105 - 090

Address: \_\_\_\_\_  
 Phone: \_\_\_\_\_

Zoning District: R-1/S-17/DK

Name of Applicant: HERRING & WORLEY, INC.

Address: 1658 EL CAMINO REAL

SAN CARLOS, CA Phone: 650/591-1441

## Existing Site Conditions

Parcel size: 7818 SQ FT

Describe the extent and type of all existing development and uses on the project parcel, including the existence and purpose of any easements on the parcel, and a description of any natural features on the project parcel (i.e. steep terrain, creeks, vegetation). \_\_\_\_\_

## Environmental Review Checklist

### 1. California Environmental Quality Act (CEQA) Review

Yes	No	Will this project involve:
	X	a. Addition to an existing structure > 50% of the existing area OR > 2,500 sq. ft?
	X	b. Construction of a new multi-family residential structure having 5 or more units?
	X	c. Construction of a commercial structure > 2,500 sq.ft?
	X	d. Removal of mature tree(s) ( ≥ 6" d.b.h. in Emerald Lake Hills area or ≥ 12" d.b.h. in any residential zoning district)? If yes, how many trees to be removed? _____
X		e. Land clearing or grading? If yes, please state amount in cubic yards (c.y.): Excavation : <u>229</u> c.y. Fill: <u>4</u> c.y.
	X	f. Subdivision of land into 5 or more parcels?
	X	g. Construction within a State or County scenic corridor?
	X	h. Construction within a sensitive habitat?
	X	i. Construction within a hazard area (i.e. seismic fault, landslide, flood)?
	X	j. Construction on a hazardous waste site (check with Co. Env. Health Division)?

Please explain all "Yes" answers:

GRADING FOR DRIVEWAY AND FOUNDATIONS ON SLOPED LOT

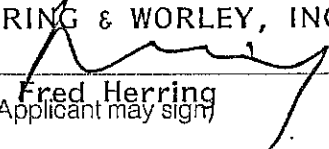
Signature required on reverse →

2. National Marine Fisheries Rule 4(d) Review		
Yes	No	Will the project involve:
X		a. Construction outside of the footprint of an existing, legal structure?
	X	b. Exterior construction within 100-feet of a stream?
	X	c. Construction, maintenance or use of a road, bridge, or trail on a stream bank or unstable hill slope?
	X	d. Land-use within a riparian area?
	X	e. Timber harvesting, mining, grazing or grading?
	X	f. Any work inside of a stream, riparian corridor, or shoreline?
	X	g. Release or capture of fish or commerce dealing with fish?
Please explain any "Yes" answers: CONSTRUCTION OF A NEW DWELLING ON A NOW UNIMPROVED LOT		

3. National Pollutant Discharge Elimination System (NPDES) Review		
Yes	No	Will the project involve:
	X	a. <u>A subdivision or Commercial / Industrial Development that will result in the addition or replacement of 10,000 sq. ft. or more of impervious surface?</u> If yes, Property Owner may be required to implement appropriate source control and site design measures and to design and implement stormwater treatment measures, to reduce the discharge of stormwater pollutants. Please consult the Current Planning Section for necessary forms and both construction and post-construction requirements.
	X	b. <u>Land disturbance of 1 acre or more of area?</u> If yes, Property Owner must file a Notice of Intent (NOI) to be covered under the statewide General Construction Activities Storm Water Permit (General Permit) prior to the commencement of construction activity. Proof of coverage under State permit must be demonstrated prior to the issuance of a building permit.

**Certification**

I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and the facts, statements and information presented are true and correct to the best of my knowledge and belief. **If any of the facts represented here change, it is my responsibility to inform the County.**

Signed: HERRING & WORLEY, INC.  
by  Date: 6/29/15  
(Applicant may sign)

# Model: WL-LED100

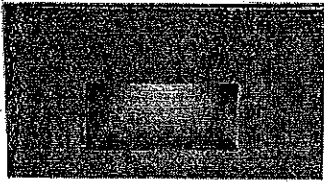
#5

LEDme® Step Light

# WAC LIGHTING

Responsible Lighting®

EXTERIOR STAIR LIGHTING  
INSET INTO STAIR RISERS



Fixture Type:

Catalog Number:

Project: \_\_\_\_\_

Location: \_\_\_\_\_

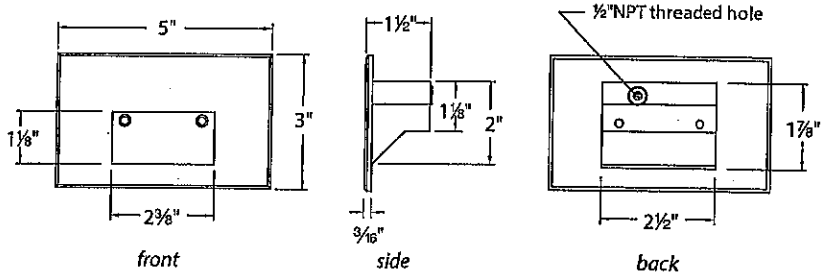
### PRODUCT DESCRIPTION

Horizontal rectangle LEDme® Step Light. Designed for safety and style on stairways, patios, decks, balcony areas, walkways and building perimeters.

Features an architectural design. Energy efficient for long-lasting indoor and outdoor lighting solutions. Creates an attractive, romantic impression at night.

### FEATURES

- 316 marine grade cast stainless steel (SS) available
- Direct wiring, no driver needed
- Low profile, flush to wall aesthetics with no visible hardware
- 40,000 hour rated life
- Balanced lighting, free of shadows with minimum glare
- Up to 200 fixtures can be connected in parallel
- Replaceable LED module
- 5 year WAC Lighting product warranty



### SPECIFICATIONS

**Construction:** Die-cast aluminum or 316 marine grade cast stainless steel

**Power:** Direct wiring, no remote driver needed. Input voltage: 120V or 277VAC 50/60Hz

**Light Source:** 3000K CCT Samsung HV-AC High Power LED, CRI: 85  
Optional color lenses. Total power consumption of 3.9W

**Mounting:** Fits into 2" x 4" J-Box with minimum inside dimensions of 3"L x 2"W x 2"H  
Includes bracket for J-Box mount.

**Dimming:** Dim to 10% with electronic low voltage (ELV) dimmer  
Approved dimmers: Lutron Skylark SELV-300P-WH and Leviton Vizia VPE04

**Standards:** IP66, UL & cUL Listed for wet locations

### ORDER NUMBER

Model #	Light Color	Finish
WL-LED100 120V	C White 3000K	SS Stainless Steel
WL-LED100F 277V	AM Amber 610nm	BK Black
	RD Red 640nm	WT White
	BL Blue 450nm	BN Brushed Nickel
		BZ Bronze

### FINISHES



Example: WL-LED100F-BL-SS

wacighting.com  
Phone (800) 526.2588  
Fax (800) 526.2585

Headquarters/Eastern Distribution Center  
44 Harbor Park Drive  
Port Washington, NY 11050

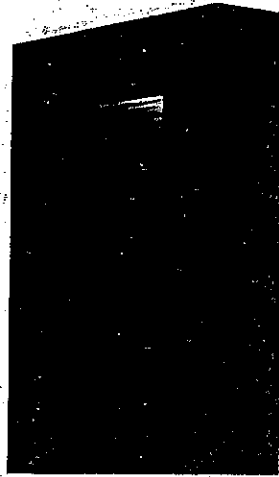
Central Distribution Center  
1600 Distribution Ct  
Lithia Springs, GA 30122

Western Distribution Center  
1750 Archibald Avenue  
Ontario, CA 91760

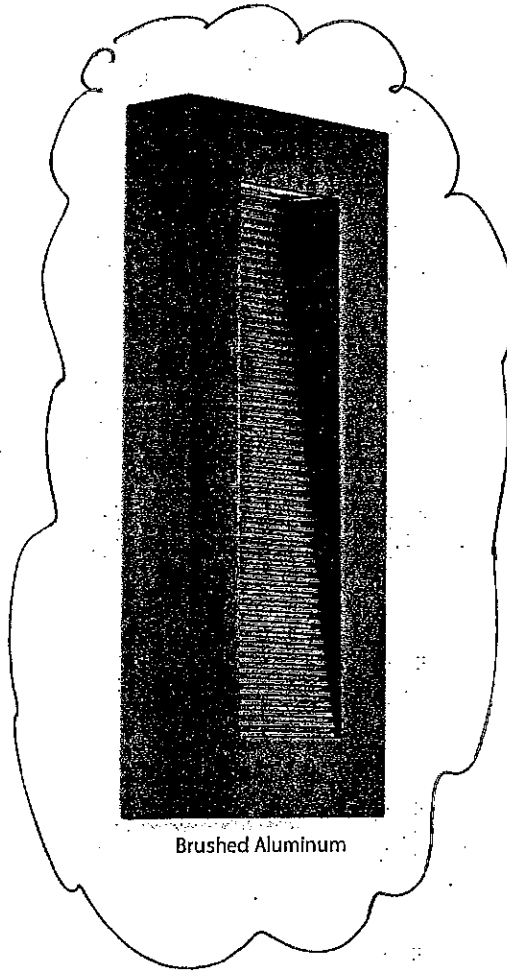
WALL SCONCE @ EXTERIOR  
ENTRY DOORS

# Urban

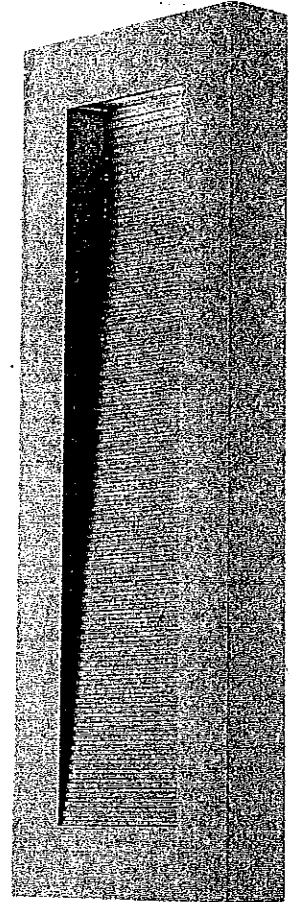
Like urban renewal, the Urban sconce gives new life to the conventional step baffle. Form follows function in this simplified indirect wall sconce. Clean styling and robust LED performance are combined in this modern dark sky luminaire.



Black



Brushed Aluminum

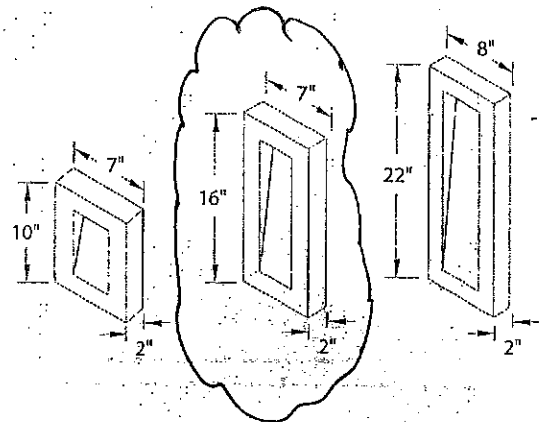


White

- ADA compliant, low profile design
- Wet location listed
- Dark Sky friendly
- Interior light and down light
- Aluminium construction
- Dimming with electronic low voltage (ELV) dimmer
- Replaceable LED module
- No transformer or driver required
- 50,000 hour rated life
- Color Temp: 3000K
- CRI: 85

Model	Height	Watt	Voltage	LED Lumens	Delivered Lumens	Finish
	10	10W	120V	720	370	BK Black
WS-W11	16	16W	120V	960	490	BZ Bronze
	22	20W	120V	1200	610	GH Graphite
						WT White

Example: WS-W1116-GH



## NEW PRODUCT ANNOUNCEMENT

SOFT RECESSED LIGHT FIXTURES

# Cobalt Series

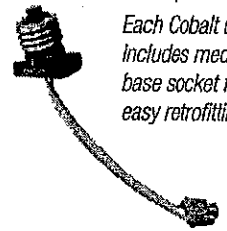
4", 5", 6" LED Retrofit Downlights, 95 CRI

NEW 4" Premium Deep Cone Reflector/Baffle

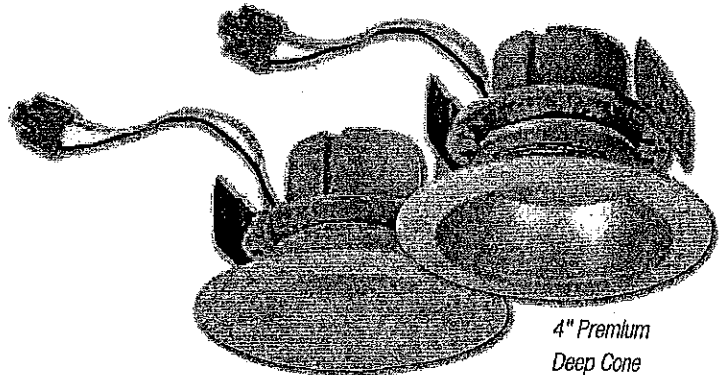
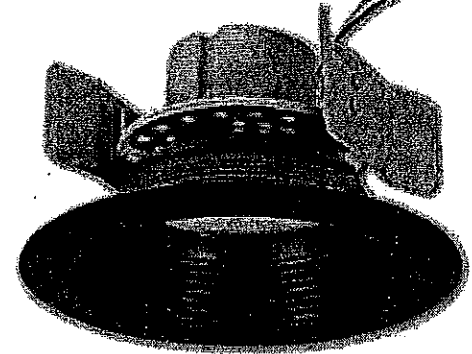
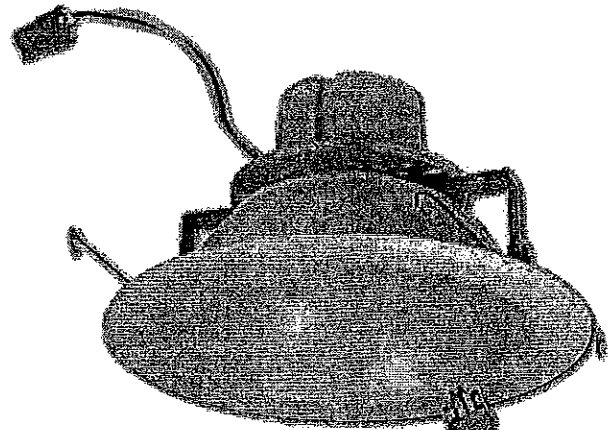
Nora Lighting's LED Cobalt Luminaires are cULus listed for use in existing IC or Non-IC housings manufactured by Nora and others. The units provide 1000 Lumen output, drawing 16W and rendering 95CRI. Nora's Cobalt LEDs integrate the latest from the Cree® COB family of LED arrays, giving bright spectacular light output and low power consumption. An obvious and smart choice for Green Energy efficient lighting in commercial and residential applications.

### FEATURES

- 5-year limited warranty
- Cree® COB LED with integrated driver
- Ceramic platform
- Available in 4", 5" and 6" apertures
- New 4" Deep Cone Reflector
  - Better Cut-off and visual comfort
  - New optic design eliminates visual board elements when off.
- 95 CRI
- Nora designed UTM (Unitized Thermal Management) includes thick die-cast aluminum heat sink to dissipate heat from LED and separate heat from driver
- New UTM design allows for smaller overall height
- 1000 lumens utilizes only 16 watts
- 2700K, 3000K and 4000K color temperatures
- Reflector or Baffle trim styles
- White, Bronze, Diffused Clear and Haze finishes
- Aluminum spun trim with deep-set diffused lens for excellent visual comfort while providing high lumen output
- Dimmable
- Includes medium base socket for easy retrofitting
- GU24 Socket adapter available for use with GU24 base housings
- Energy Star rated
- cULus Wet Label Listed
- Title 24 compliant



Each Cobalt unit includes medium base socket for easy retrofitting



4" Premium Deep Cone

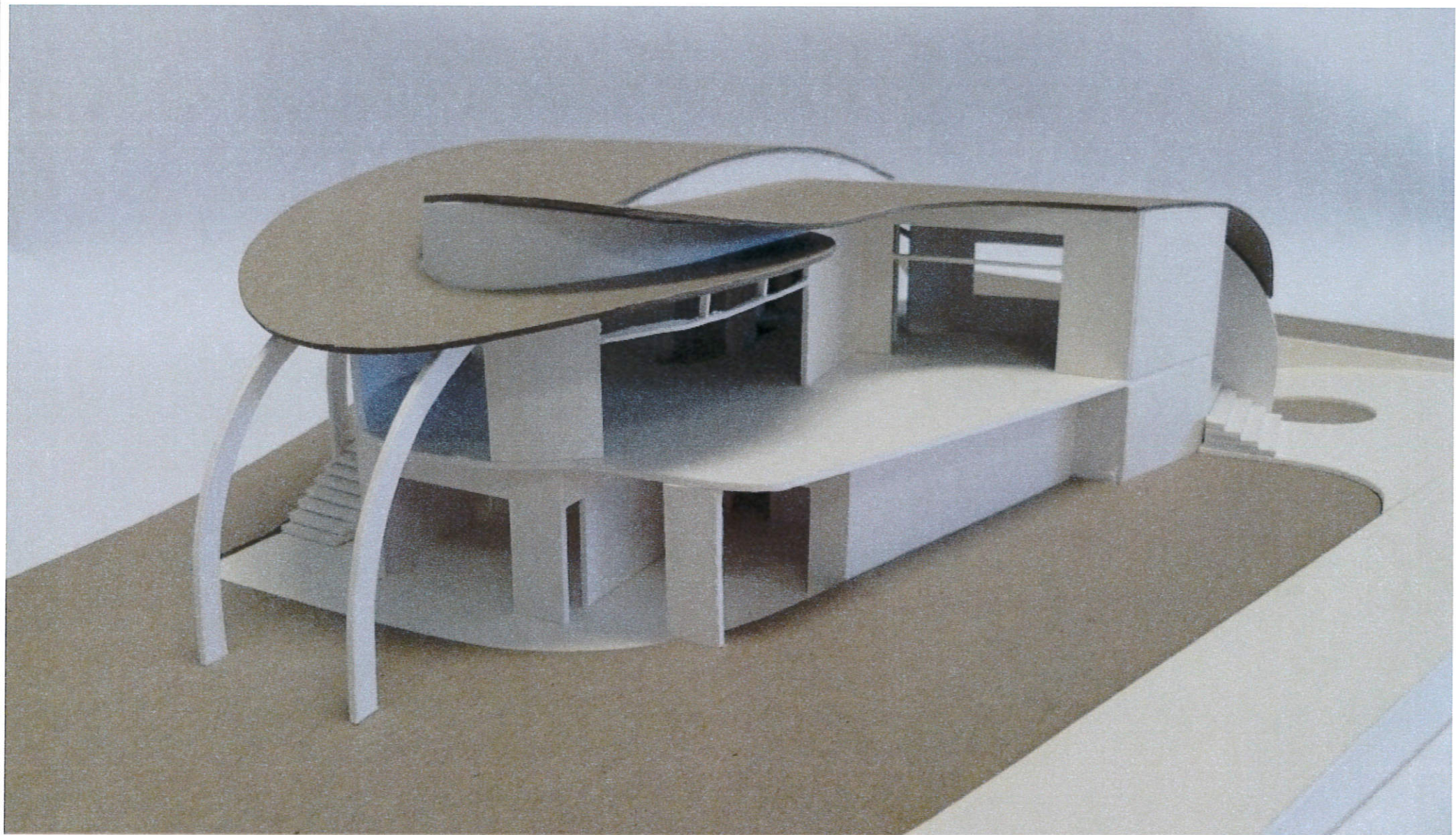


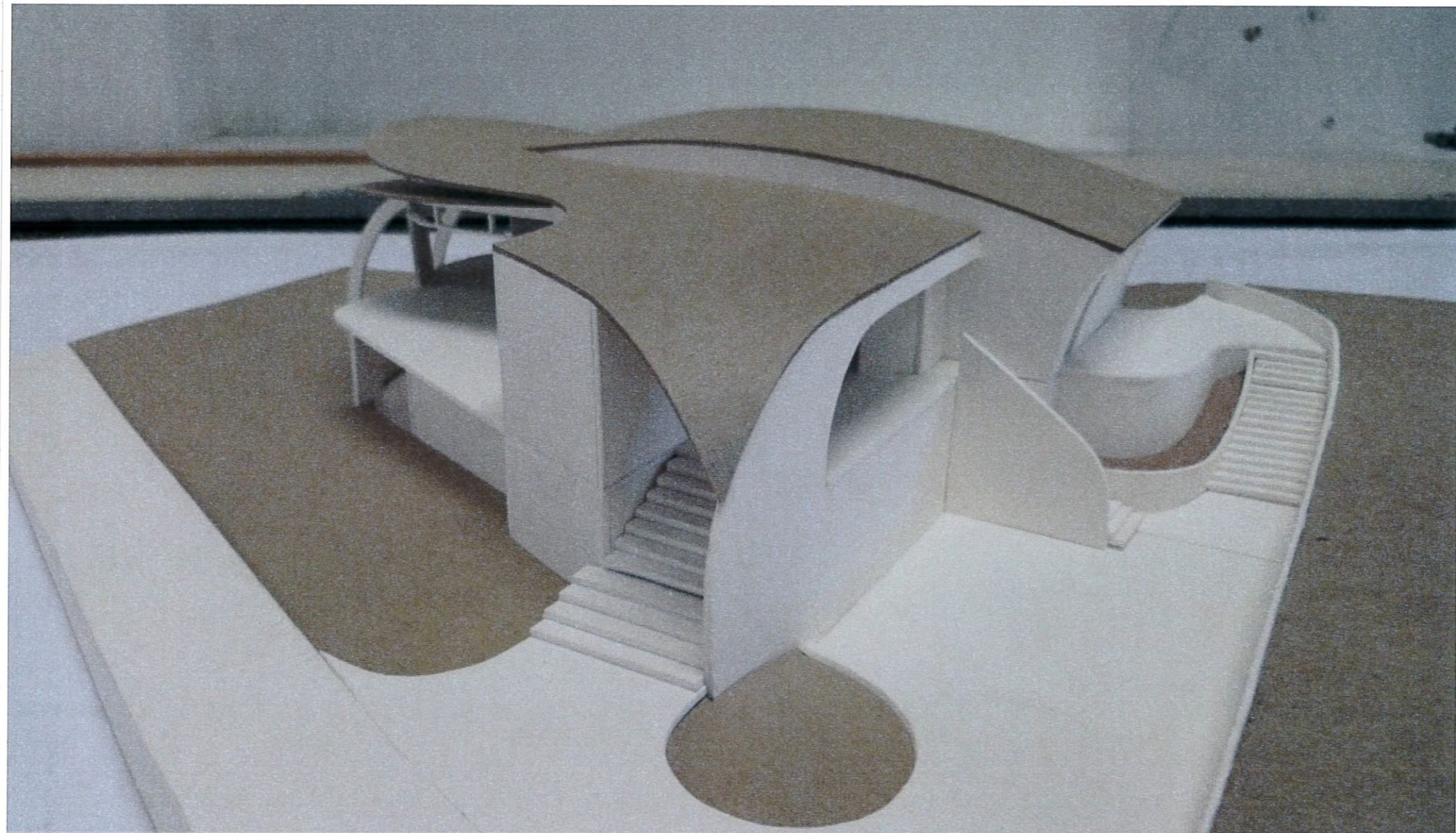
5 YEAR LIMITED WARRANTY

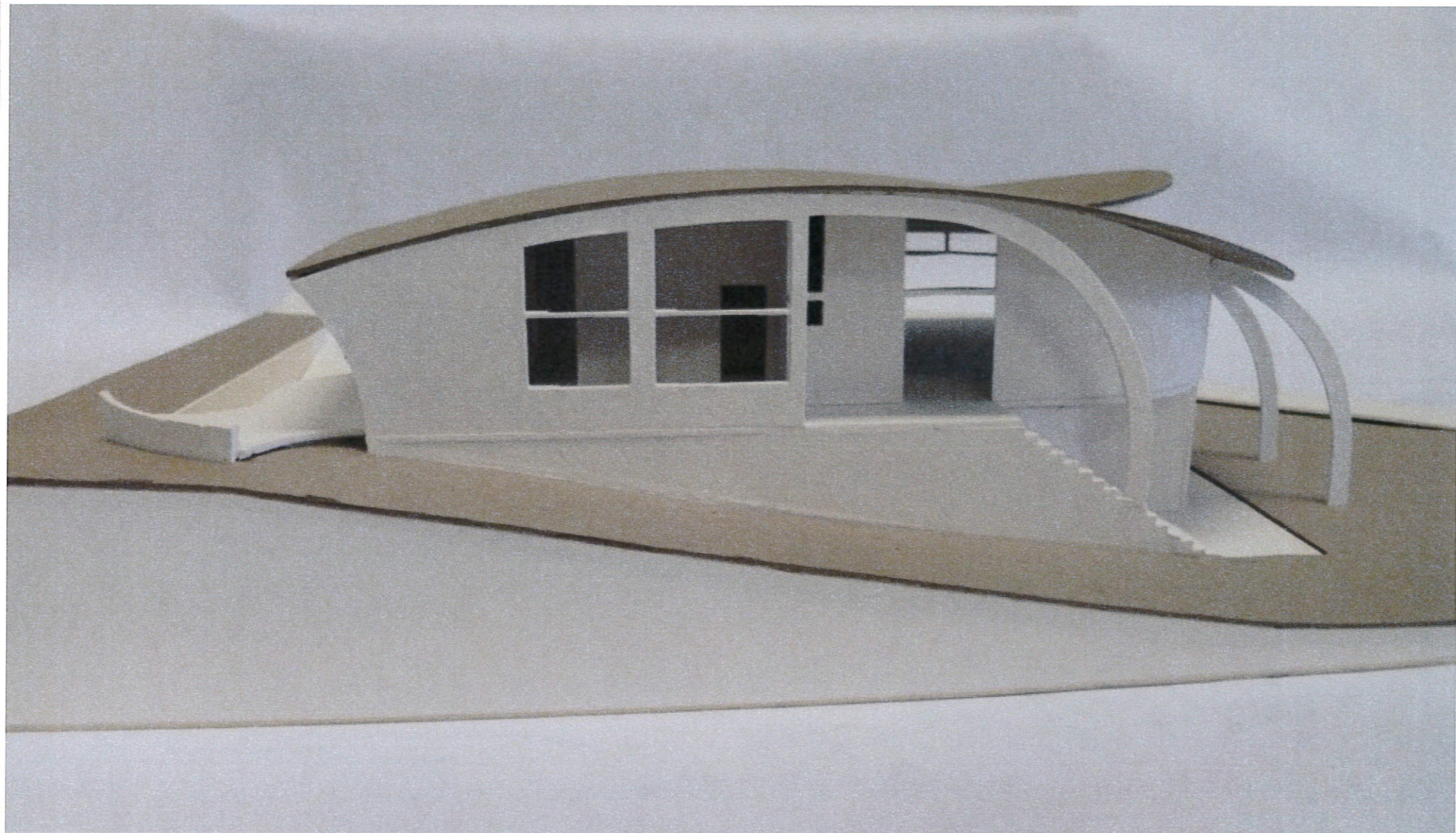
Illuminating the future... since 1989

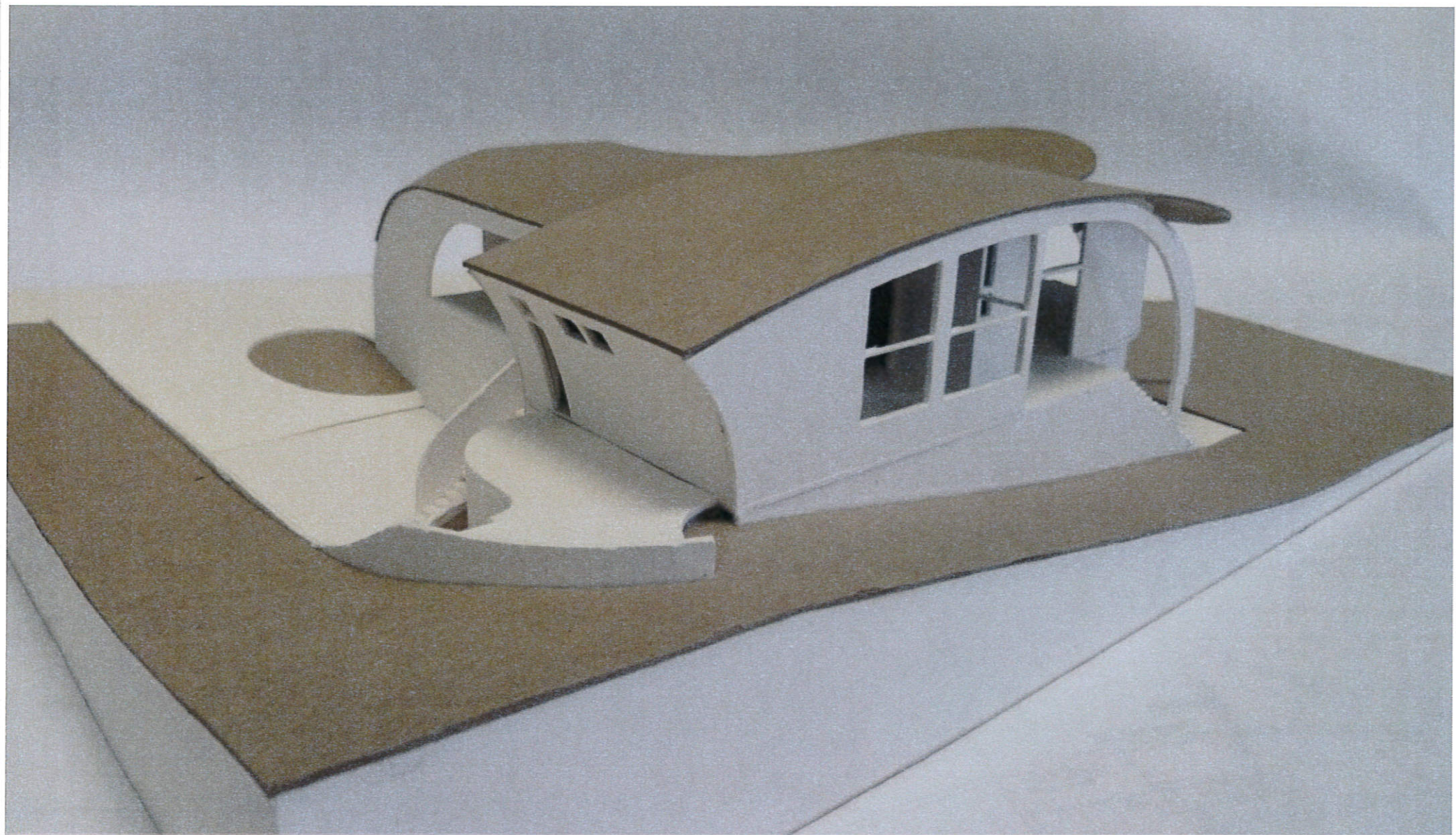
TEL 800.686.6672 | FAX 800.500.9955 | WWW.NORALIGHTING.COM



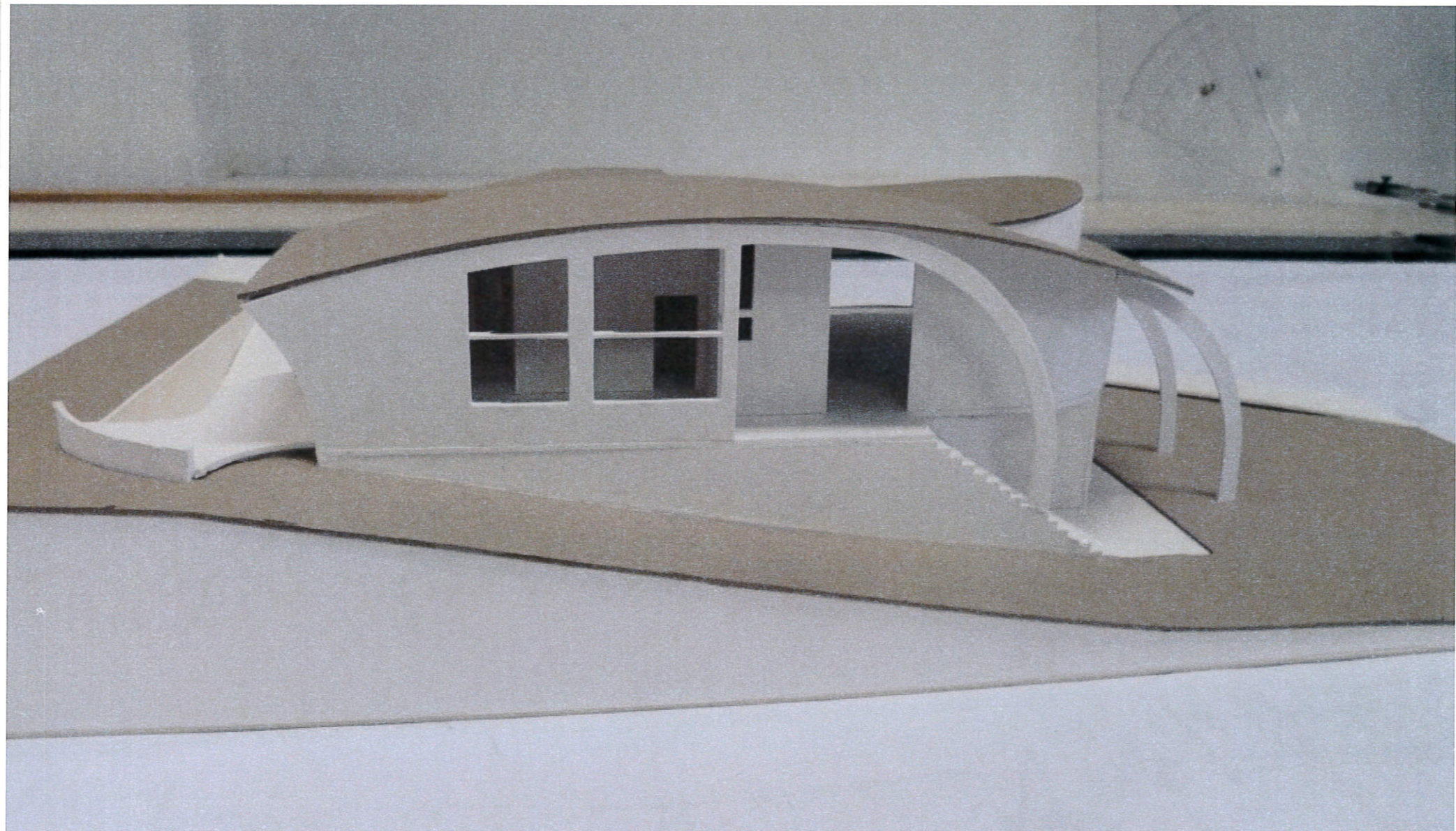


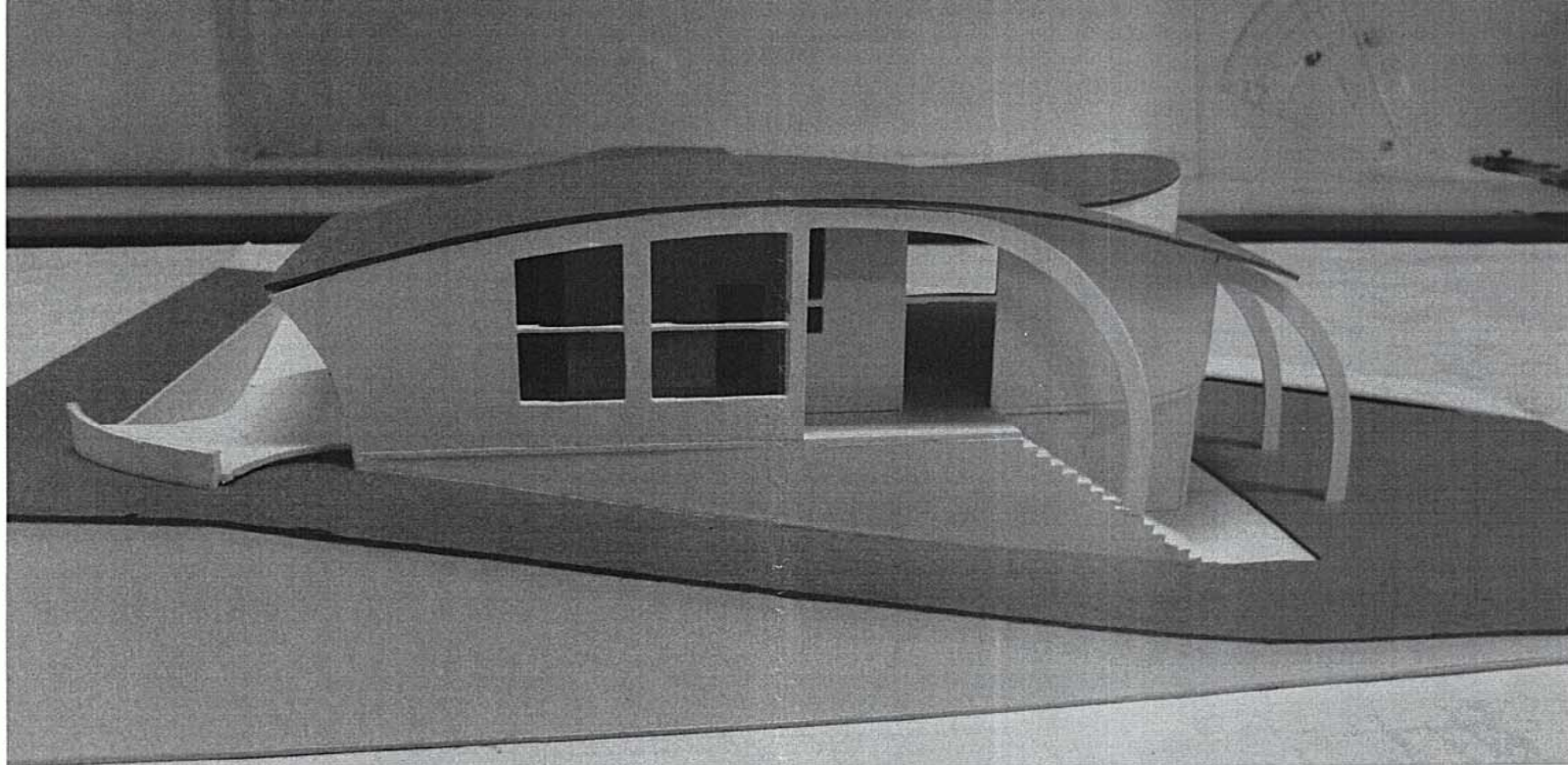






#3





- Project to be protected by hardwired interconnected smoke detectors compliant with CDFD 2013-03 in each sleeping area and in corridors which lead to those areas. Smoke detectors are also called out on revised plan sheets #2 and 2.1.
- The installation of an approved spark arrester is required on all chimneys, existing and new. Spark arresters shall be constructed of woven or welded wire screening of 12-gauge USA standard wire having openings not exceeding 1/2 inch.
- Trees located within required defensible space shall be pruned to remove dead and dying portions, and limbed up 6 feet above the ground. New trees planted in the defensible space shall be located no closer than 10 feet to adjacent trees when fully grown or at maturity.
- Remove that portion of any existing trees, which extends within 10 feet of the outlet of a chimney or stovepipe or is within 5 feet of any structure. Remove that portion of any existing trees which extends within 10 feet of the outlet of a chimney or stovepipe or is within 5 feet of any structure. Maintain any tree adjacent to or overhanging a building free of dead or dying wood.
- A fuel break of defensible space is required around the perimeter of all structures, existing and new. To a distance of not less than 30 feet and may be required to a distance of 100 feet or to the property line. This in neither an requirement nor an authorization for the removal of living trees.
- Project to be protected by an automated fire sprinkler system compliant with NFPA 13-D.

Property: A.P.N. 047-105-090  
401 Paloma Avenue, at Avenue Balboa, El Granada, CA.

Lot area: 7818 sq. ft.

Lot coverage: Building footprint 2464 ±  
Lot area 7818 ± = 30%

Building heights: 19' max. over (E) grade  
23'-8" max. above ..... floor

Building setbacks:

Side (East) at Paloma Ave.	required	proposed
Rear (North)	10'	10'-3"
Side (West)	20'	20'
Front (South) at Ave. Balboa	5'	7'
	20'	48'-9"

Building area:

Lower floor	700 ±
Main floor	1580 ±
Total living space:	2280 ±
Garage	510 ±
Total:	2790 ±

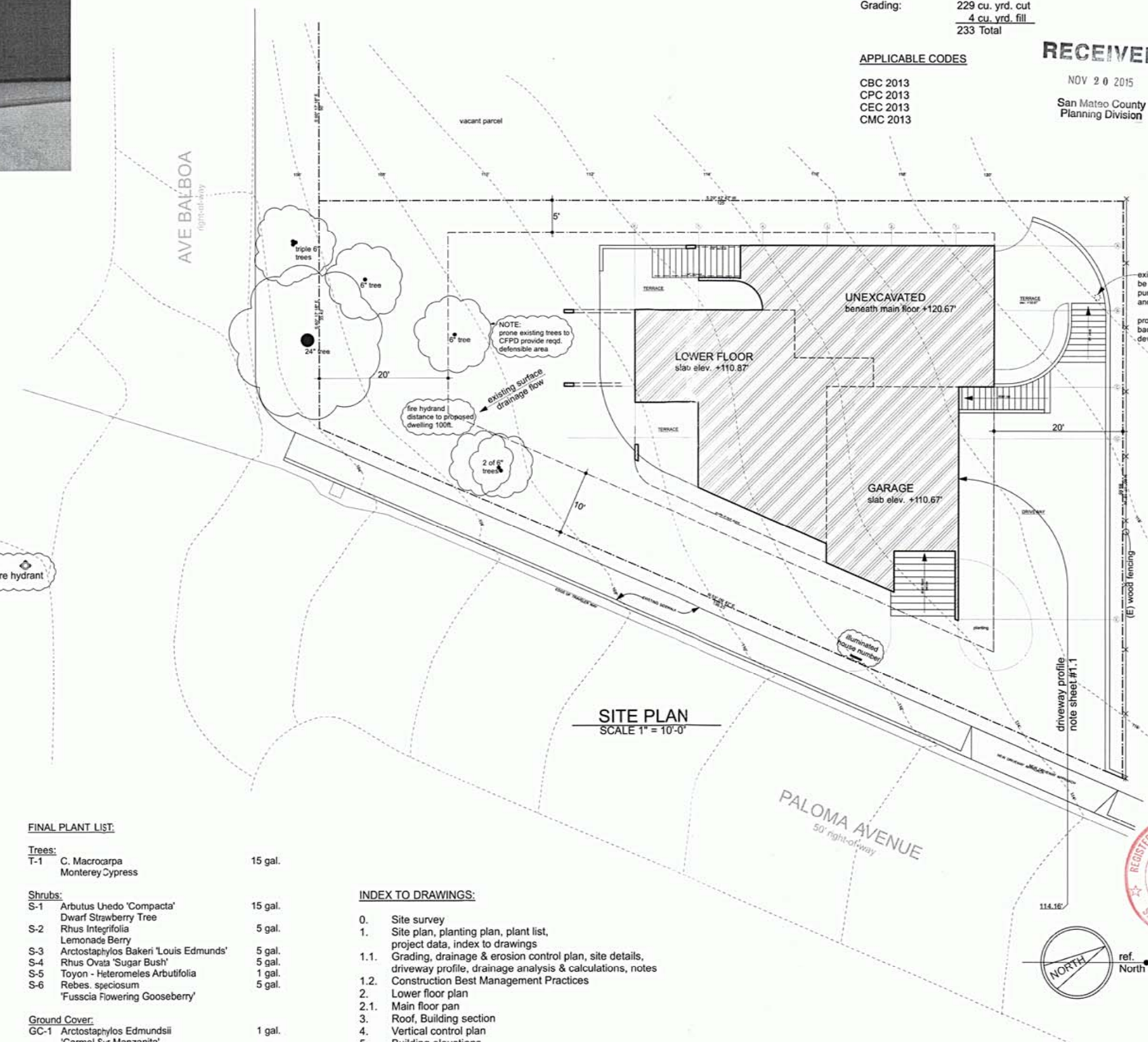
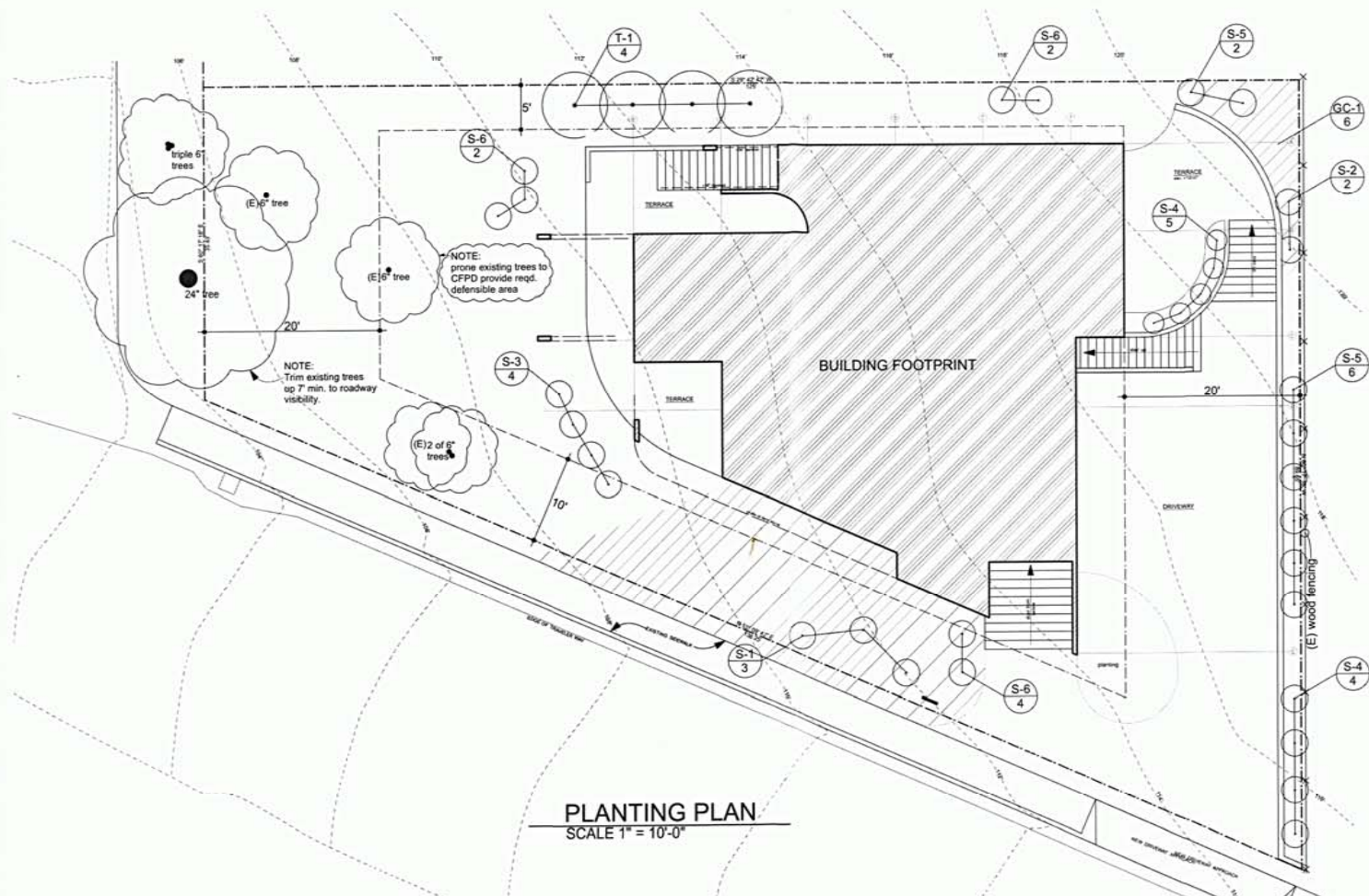
FAR: 2790 / 7818 = .36

Grading: 229 cu. yrd. cut  
4 cu. yrd. fill  
233 Total

APPLICABLE CODES

CBC 2013  
CPC 2013  
CEC 2013  
CMC 2013

NOV 20 2015  
San Mateo County  
Planning Division



- FINAL PLANT LIST:**
- Trees:**
- T-1 C. Macrocarpa Monterey Cypress 15 gal.
- Shrubs:**
- S-1 Arbutus Uhedo 'Compacta' Dwarf Strawberry Tree 15 gal.
  - S-2 Rhus Integrifolia Lemonade Berry 5 gal.
  - S-3 Arctostaphylos Bakeri 'Louis Edmunds' 5 gal.
  - S-4 Rhus Ovata 'Sugar Bush' 5 gal.
  - S-5 Toyon - Heteromeles Arbutifolia 1 gal.
  - S-6 Rebes. speciosum 'Fusscia Flowering Gooseberry' 5 gal.
- Ground Cover:**
- GC-1 Arctostaphylos Edmunsdii 'Carmel Sur Manzanita' 1 gal.

- INDEX TO DRAWINGS:**
- Site survey
  - Site plan, planting plan, plant list, project data, index to drawings
  - Grading, drainage & erosion control plan, site details, driveway profile, drainage analysis & calculations, notes
  - Construction Best Management Practices
  - Lower floor plan
  - Main floor plan
  - Roof, Building section
  - Vertical control plan
  - Building elevations
  - Building elevations

**Project Information**

Enter Project Data (For "C.3 Regulated Projects," data will be reported on the municipality's stormwater Annual Report.)

Project Name: **Residence**  
 Case Number: **18-00000000000000000000**

Project Address & Cross St: **Paloma Avenue, at Avenue Balboa, El Granada, CA, 94026**

Project APN: **047-105-090** Project Watershed: **Herring & Worley, Inc.**

Applicant Name: **Herring & Worley, Inc.**  
 Applicant Email Address: **fh1741@sbcglobal.net**  
 Applicant Phone: **650-591-1441**

Development type:  Single Family Residential: A stand-alone home that is not part of a larger project.  
 Single Family Residential: Two or more lot residential development.  
 Multi-Family Residential  
 Commercial  
 Industrial, Manufacturing  
 Mixed-Use  
 Streets, Roads, etc.  
 Redevelopment as defined by MRSP: creating, adding and/or replacing exterior existing impervious surface on a site where past development has occurred.  
 Special land use categories as defined by MRSP: (1) auto service facilities; (2) retail gasoline outlets; (3) restaurants; (4) uncovered parking areas (stand-alone or part of a larger project).

Project Description: **New residence on undeveloped parcel**

LA.1 Total Area of Site: **18** acres  
 LA.2 Total Area of land disturbed during construction (includes clearing, grading, excavating and stockpile areas): **06** acres

**Check all that apply:**

1.B.2.a Does the project involve any earthwork?  **A**  
 1.B.2.b Is L.B.1.F greater than or equal to 2,500 sq. ft. or more?  **A**  
 1.B.2.c Is the total Impervious Surface to be Replaced or Created (IS.R.C.) 50 percent or more of the total Pre-Project Impervious Surface (IS.P.S.)?   
 1.B.2.d Is the project one of the Special Land Use Categories (see checked in section I.A. above) and is L.B.1.F greater than or equal to 5,000 sq. ft. or more?  **D, D-1, D-2**  
 1.B.2.e Is L.B.1.F greater than or equal to 10,000 sq. ft. or more?  **D, D-1, D-2**  
 1.B.2.f Is L.B.1.F greater than or equal to 43,560 sq. ft. (1 acre)?  **E**  
 1.B.2.g Is L.A.2 (g) 1) greater than or equal to 1 acre?  **F**  
 1.B.2.h Is this project a High Priority Development (see checked in section I.A. above) and is the project area greater than or equal to 10,000 sq. ft. or more?  **G**  
 1.B.2.i For Municipal Staff Use Only (Alternative Certification, O&M Submittals, Project Close Out)  **G**

**C6 - Construction Stormwater BMPs**

Identify Plan sheet showing the appropriate construction Best Management Practices (BMPs) used on this project. (Applies to all projects with earthwork)

Yes	Plan Sheet	Best Management Practice (BMP)
<input checked="" type="checkbox"/>	1.5 (BPM)	Control and prevent the discharge of all potential pollutants, including pavement cutting waters, paints, concrete, petroleum products, chemicals, wash water or sediment, clean water from architectural copper, and non-stormwater discharges to storm drains and watercourses.
<input checked="" type="checkbox"/>	1.5 (BPM)	Store, handle, and dispose of construction materials/wastes properly to prevent contact with stormwater.
<input checked="" type="checkbox"/>	1.5 (BPM)	Do not clean, fuel, or maintain vehicles on-site, except in a designated area where wash water is contained and treated.
<input checked="" type="checkbox"/>	1.5 (BPM)	Train and provide instruction to all employees/subcontractors re: construction BMPs.
<input checked="" type="checkbox"/>	1.5 (BPM)	Protect all storm drain inlets in vicinity of site using sediment controls such as berms, filter socks, or filters.
<input checked="" type="checkbox"/>	1.5 (BPM)	Limit construction access routes and stabilize designated access points.
<input checked="" type="checkbox"/>	1.5 (BPM)	Attach the San Mateo Countywide Water Pollution Prevention Program's construction BMP plan sheet to project plans and require contractor to implement the applicable BMPs on the job sheet.
<input checked="" type="checkbox"/>	1.5 (BPM)	Use temporary erosion controls to stabilize all denuded areas until permanent erosion controls are established.
<input checked="" type="checkbox"/>	1.5 (BPM)	Deemphasize with field markers clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees, and drainage courses.
<input type="checkbox"/>		Provide notice, specifications, or attachments describing the following: • Construction and maintenance of erosion and sediment controls, include inspection frequency. • Methods and schedule for grading, excavation, filling, clearing of vegetation, and storage and disposal of excavated or cleared material. • Specifications for vegetative cover & mulch, include methods and schedules for planting and fertilization. • Provisions for temporary and/or permanent irrigation.
<input checked="" type="checkbox"/>	1.2	Perform clearing and earth moving activities only during dry weather.
<input checked="" type="checkbox"/>	1.2	Use sediment controls or filtration to remove sediment when dewatering and obtain all necessary permits.
<input checked="" type="checkbox"/>	1.2	Topsoil seed-bank, using BMPs such as sediment basins or traps, earthen dikes or berms, all berms, check dams, soil blankets or mats, cover for soil stockpiles, etc.
<input checked="" type="checkbox"/>	1.2	Direct on-site runoff around exposed areas, divert off-site runoff around the site (e.g., swales and ditches).
<input checked="" type="checkbox"/>	1.2	Protect adjacent properties and undeveloped areas from construction impacts using vegetative buffer strips, sediment barriers or filters, silt, mulching, or other measures as appropriate.

**C3 - Source Controls**

Select appropriate source controls and identify the details sheets where these elements are shown.

Yes	Detail Sheet	Feature that requires source control measures	Source Control Measures (Refer to Local Source Control List for detailed requirements)
<input type="checkbox"/>		Storm Drain	Mark on-site inlets with the words "No Dumping" Follow by Day or Night or equivalent.
<input type="checkbox"/>		Floor Drains	Plumb interior parking garage floor drains to sanitary sewer. <sup>4</sup>
<input type="checkbox"/>		Parking garage	
<input type="checkbox"/>		Landscaping	• Retain existing vegetation as practicable. • Select diverse species appropriate to the site. Include plants that are pest- and/or disease-resistant, drought tolerant, and/or attract beneficial insects. • Minimize use of pesticides and quick-release fertilizers. • Use efficient irrigation systems, design to minimize runoff.
<input type="checkbox"/>		Pool/Spa/Fountain	Provide connection to the sanitary sewer to facilitate draining. <sup>4</sup>
<input type="checkbox"/>		Food Service Equipment (non-residential)	Provide sink or other area for equipment cleaning, which is: • Connected to a grease interceptor prior to sanitary sewer discharge. <sup>4</sup> • Large enough for the largest pot or piece of equipment to be cleaned. • Located in an outdoor runoff area designed to prevent stormwater runoff and run-off, and sited in require equipment washing in this area.
<input type="checkbox"/>		Refuse Areas	• Provide a roofed and enclosed area for dumpsters, recycling containers, etc., designed to prevent stormwater runoff and runoff. • Connect any drains in or beneath dumpsters, compactors, and follow bin areas leading food service facilities to the sanitary sewer. <sup>4</sup>
<input type="checkbox"/>		Outdoor Process Activities	Perform process activities either indoors or in a roofed outdoor area, designed to prevent stormwater runoff and runoff, and to drain to the sanitary sewer. <sup>4</sup>
<input type="checkbox"/>		Outdoor Equipment/ Materials Storage	• Cover the area or design to avoid pollutant contact with stormwater runoff. • Locate area only on paved and contained areas. • Roof storage areas that will contain non-hazardous liquids, drain to sanitary sewer, <sup>4</sup> and contain by berms or berms.
<input type="checkbox"/>		Vehicle Equipment Cleaning	• Roofed, paved and berm wash area to prevent stormwater runoff and runoff, and to drain to the sanitary sewer. <sup>4</sup> • Commercial car wash facilities shall discharge to the sanitary sewer. <sup>4</sup>
<input type="checkbox"/>		Vehicle Equipment Repair and Maintenance	• Designate repair/maintenance area indoors, or an outdoors area designed to prevent stormwater runoff and runoff and provide secondary containment. • Do not install drains in the secondary containment area. • No floor drains unless extended prior to discharge to the sanitary sewer. <sup>4</sup> • Connected berms or berms used for parts cleaning to the sanitary sewer. <sup>4</sup>
<input type="checkbox"/>		Fuel Dispensing Areas	• Fueling areas shall have impervious surface that is minimally graded to prevent ponding and is separated from the rest of the site by a grade break. • Canopy shall extend at least 10 ft. in each direction from each pump and drain away from fueling area.
<input type="checkbox"/>		Loading Docks	• Cover and/or grade to minimize run-on to and runoff from the loading area. • Position downspouts to direct stormwater away from the loading area. • Drain water from loading dock areas to the sanitary sewer. <sup>4</sup> • Install door wipers between the trailers and the building.
<input type="checkbox"/>		Fire Sprinklers	Design for discharge of the sprinkler test water to berms/curbs or sanitary sewer. <sup>4</sup>
<input type="checkbox"/>		Miscellaneous Drain or Wash Water	• Drain condensate of air conditioning units to landscaping. Large air conditioning units may connect to the sanitary sewer. • Roof drains from equipment drain to landscaped area where practicable. • Drain boiler drain lines, roof top equipment, all wash water to sanitary sewer. <sup>4</sup> • Drain three wash water to landscaping, discharge to sanitary sewer, <sup>4</sup> or collect and dispose properly off-site. See Title 24, Requirements for Architectural Copper. <sup>4</sup>
<input type="checkbox"/>		Architectural Copper Roof Water	• Drain three wash water to landscaping, discharge to sanitary sewer, <sup>4</sup> or collect and dispose properly off-site. See Title 24, Requirements for Architectural Copper. <sup>4</sup>

**Low Impact Development - Site Design Measures**

Select Appropriate Site Design Measures (Required for C.3 Regulated Projects; all other projects are encouraged to implement site design measures, which may be required at municipal discretion.) Projects that create and/or replace 2,500-10,000 sq. ft. of impervious surface, and displace single family homes that create/replace 2,500 sq. ft. or more of impervious surface, must include one of Site Design Measures A through F (Provision C.3) requirements.<sup>4</sup> Larger projects must also include applicable Site Design Measures G through I. Consult with municipal staff about requirements for your project.

Select appropriate site design measures and identify the Plan Sheet where these elements are shown.

Yes	Plan Sheet Number	Site Design Measure
<input type="checkbox"/>		a. Direct roof runoff into cisterns or rain barrels and use rainwater for irrigation or other non-potable uses.
<input type="checkbox"/>		b. Direct roof runoff onto vegetated areas.
<input type="checkbox"/>		c. Direct runoff from sidewalks, walkways, and/or patios onto vegetated areas.
<input type="checkbox"/>		d. Direct runoff from driveways and/or uncovered parking lots onto vegetated areas.
<input checked="" type="checkbox"/>	1.2	e. Construct sidewalks, walkways, and/or patios with pervious or permeable surfaces.
<input type="checkbox"/>		f. Construct bike lanes, driveways, and/or uncovered parking lots with pervious surfaces.
<input type="checkbox"/>		g. Limit disturbance of natural water bodies and drainage systems, minimize compaction of highly permeable soils, prevent erosion and channels, and minimize impacts from stormwater and urban runoff on the biological integrity of natural drainage systems and water bodies.
<input type="checkbox"/>		h. Conserve natural areas, including existing trees, other vegetation and soils.
<input checked="" type="checkbox"/>	1.2	i. Minimize impervious surfaces.

Regulated Projects can also consider the following site design measures to reduce treatment system sizing:

Yes	Plan Sheet Number	Site Design Measure
<input type="checkbox"/>		j. Self-treating area (see Section 4.2 of the C.3 Technical Guidance)
<input type="checkbox"/>		k. Self-retaining area (see Section 4.3 of the C.3 Technical Guidance)
<input type="checkbox"/>		l. Plant or preserve interceptor trees (Section 4.1, C.3 Technical Guidance)

**SILT FENCE**  
 N.T.S. 1.1

**FIBER ROLL**  
 N.T.S. 2.1.1

**DETENTION/STORAGE FACILITY**  
 N.T.S. 3.1.1

**TEMPORARY GRAVEL CONSTRUCTION ENTRANCE**  
 N.T.S. 4.1.1

**Table 1.B.1 Impervious and Pervious Surfaces**

Type of Impervious Surface	Pre-Project Impervious Surface (sq. ft.)	Impervious Surface to be Replaced (sq. ft.)	New Impervious Surface to be Created (sq. ft.)	Post-Project Impervious Surface (sq. ft.)
Roof (MSH)	0	0	2286	2286
Impervious sidewalks, patios, paths, driveways, streets	0	0	1826	1826
Impervious uncovered parking	0	0	4112	4112
Totals of Impervious Surfaces	0	0	8224	8224

1.B.1.F Total Impervious Surface and Created (sum of values 1.B.1.e and 1.B.1.f): **8224**

Type of Pervious Surface	Pre-Project Pervious Surface (sq. ft.)	Post-Project Pervious Surface (sq. ft.)
Landscaping	3706	3706
Pervious Paving	0	0
Green Roof	0	0
Totals of Pervious Surfaces	3706	3706
Total Site Area (Total Impervious+Total Pervious-LA.1)	7818	3706

1.B.2 Please review and attach additional worksheets as required below using the Total Impervious Surface Replaced and Created to call L.B.1.F from Table 1.B.1 above and other factors:

Check all that apply:

1.B.2.a Does the project involve any earthwork?  **A**  
 1.B.2.b Is L.B.1.F greater than or equal to 2,500 sq. ft. or more?  **A**  
 1.B.2.c Is the total Impervious Surface to be Replaced or Created (IS.R.C.) 50 percent or more of the total Pre-Project Impervious Surface (IS.P.S.)?   
 1.B.2.d Is the project one of the Special Land Use Categories (see checked in section I.A. above) and is L.B.1.F greater than or equal to 5,000 sq. ft. or more?  **D, D-1, D-2**  
 1.B.2.e Is L.B.1.F greater than or equal to 10,000 sq. ft. or more?  **D, D-1, D-2**  
 1.B.2.f Is L.B.1.F greater than or equal to 43,560 sq. ft. (1 acre)?  **E**  
 1.B.2.g Is L.A.2 (g) 1) greater than or equal to 1 acre?  **F**  
 1.B.2.h Is this project a High Priority Development (see checked in section I.A. above) and is the project area greater than or equal to 10,000 sq. ft. or more?  **G**  
 1.B.2.i For Municipal Staff Use Only (Alternative Certification, O&M Submittals, Project Close Out)  **G**

**GRADING, DRAINAGE & EROSION CONTROL AND CONSTRUCTION STAGING PLAN**  
 SCALE 1" = 10'-0"

vacant parcel

note: cut pad/crawl space this area

UNEXCAVATED beneath main floor +120.67'

LOWER FLOOR slab elev. +110.87'

GARAGE slab elev. +110.67'

GRAVEL CONSTRUCTION ENTRANCE

TROUGH DRAIN

4" solid pvc fall line to detention facility

118.5' grade

112.3' grade

114.16' (E) grade

min. slope 5%

110' 108' 110' 112' 114' 116' 118' 120'

3 1/4" CL. 3/4" DR. ROOK

PERFORATED PIPE (SAME SIZE)

VEGETATED AREA (NATIVE BACKFILL)

3/4" DR. ROOK CAP(TYP.)

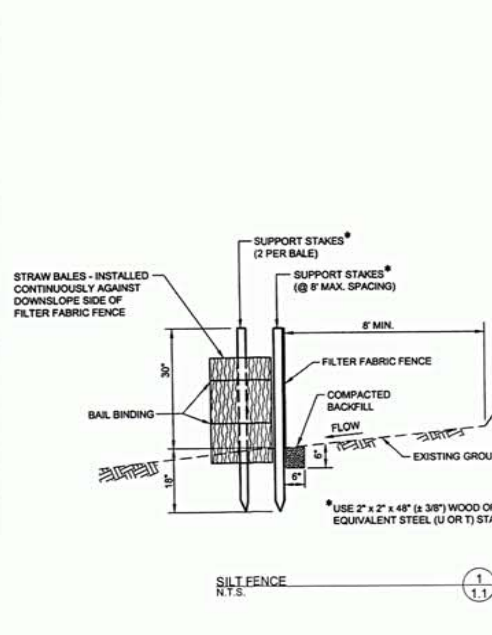
PVC CROSS

3"-4" FRACTURED AGGREGATE MIN. 12" THICK

50' MIN.

DRIVER'S RIDGE

NOTE: 1. facility dimensions shown on adjacent plan sized to ACCOMMODATE A 10-YEAR STORM EVENT. (THIS GRAVEL BED CAN BE USED AS A WATER DETENTION DEVICE.)  
 2. WATER DETENTION CAPACITY OF BED IS LIMITED TO 50% OF TOTAL BED VOLUME.



- DRAINAGE NOTES**
- Drainage intent: It is the intent of the drainage system to convey roof runoff to a safe location. To minimize excessive moisture around foundations, and to prevent an increase in runoff to neighboring properties.
  - Downsouts shall lead to dry wells in front yard, as shown.
  - Driveway shall slope as shown, flowing into planters ans dry wells. Via iron grate at top of dry wells.
  - Ground in planters shall slope to dry wells.
  - Surface runoff shall not cross property lines.

**DRAINAGE ANALYSIS**

All roof run off waters are to be captured and delivered (by solid fall lines) to detention/gradual release facility. Surface drainage sheet flows are captured by upslope foundation drains and delivered (by solid fall lines) to detention facilities.

The drainage/detention facility is sized to accommodate the above noted run off waters as well as to insure post development drainage flows of this site do not exceed predevelopment flows, note drainage calc. this sheet.

**DRAINAGE CALCULATION**

Existing undevelop lot area considered  
 7,818 / 43,560 = .18 ac

Area to be developed (building footprint, terraces, driveway)  
 4,112 / 43,560 = .094

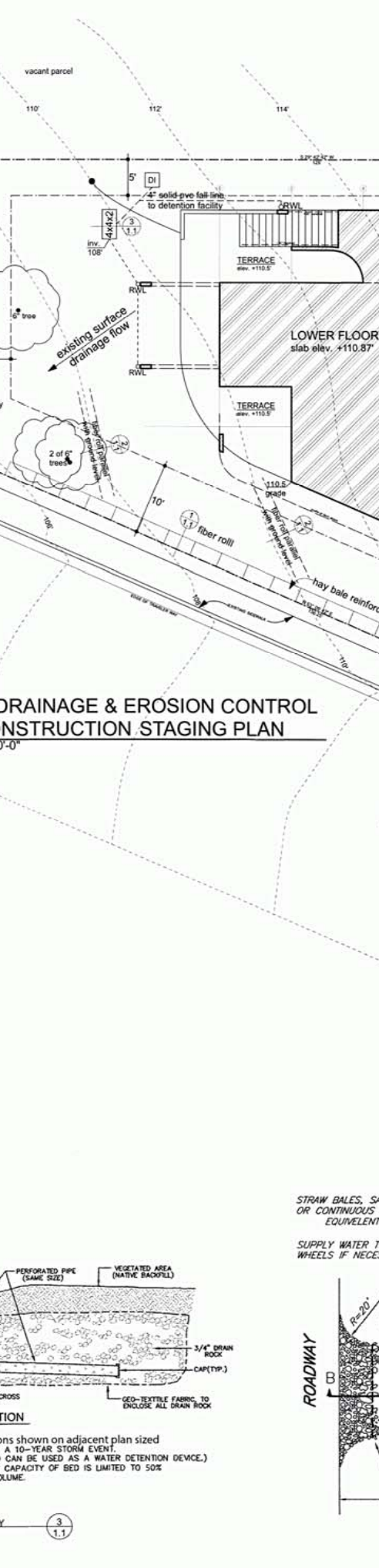
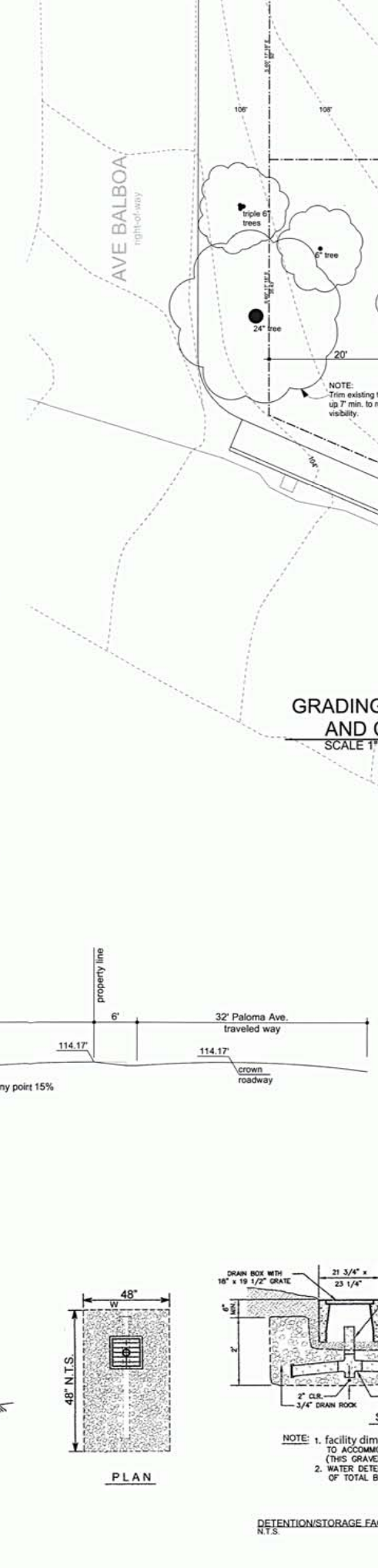
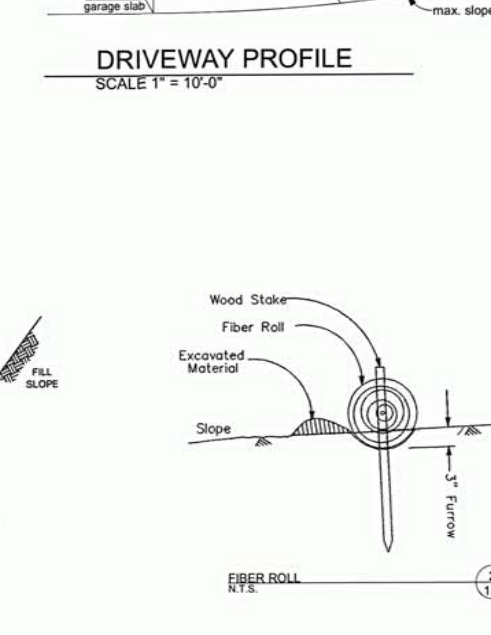
Predevelopment peak flow  
 4 x 2.45 x .18 = .176 cu. ft./sec.

Post development peak flow  
 1.0 x 2.45 x .094 = .23  
 4 x 2.45 x .086 = .84  
 .314 cu. ft./sec.

15 min. x 60 sec. x .314 = 282.6 cu. ft.  
 25 max. x 60 sec. x .18 = 270 cu. ft.  
 12.0 cu. ft. required detention

NOTE: Two facilities provided - total capacity - 16 cu. ft.  
 NOTE: Gravel filled facility sized using 50% area for storage of run off waters.

- EROSION CONTROL NOTES**
- Fiber roll, install at locations shown. affix as shown in detail 1/1.1
  - For construction during dry season, all exposed surfaces shall be wetted periodically to prevent significant dust.
  - All exposed soil shall be protected from erosion at all times. Such protection shall consist of jute matting on slopes.
  - All stockpiled soil shall be covered during periods of rain.
  - Before completion of project all exposed or disturbed surfaces shall be permanently protected from erosion.
  - Areas to remain natural vegetation shall be seeded prior to October 15 with 75# per acre of annual Ryegrass or approved substitute, as per landscape plan. Seed may be covered with straw mulch at a rate of 2 tons/acre.



## CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

### MATERIALS & WASTE MANAGEMENT

#### Non-Hazardous Materials

- ☒ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- ☒ Use (but don't overuse) reclaimed water for dust control.

#### Hazardous Materials

- ☒ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ☒ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ☒ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ☒ Arrange for appropriate disposal of all hazardous wastes.

#### Waste Management

- ☒ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ☒ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- ☒ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- ☒ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- ☒ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

#### Construction Entrances and Perimeter

- ☒ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ☒ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

### EQUIPMENT MANAGEMENT & SPILL CONTROL

#### Maintenance and Parking

- ☒ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ☒ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ☒ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ☒ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ☒ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, steam cleaning equipment, etc.

#### Spill Prevention and Control

- ☒ Keep spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ☒ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ☒ Clean up spills or leaks immediately and dispose of cleanup materials properly.
- ☒ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ☒ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ☒ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ☒ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours)

### EARTHWORK & CONTAMINATED SOILS

#### Erosion Control

- ☒ Schedule grading and excavation work for dry weather only.
- ☒ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ☒ Seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.

#### Sediment Control

- ☒ Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, fiber rolls, berms, etc.
- ☒ Prevent sediment from migrating offsite by installing and maintaining sediment controls, such as fiber rolls, silt fences, or sediment basins.
- ☒ Keep excavated soil on the site where it will not collect into the street.
- ☒ Transfer excavated materials to dump trucks on the site, not in the street.
- ☒ Contaminated Soils
- ☒ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
  - ☒ Unusual soil conditions, discoloration, or odor.
  - ☒ Abandoned underground tanks.
  - ☒ Abandoned wells
  - ☒ Buried barrels, debris, or trash.

### PAVING/ASPHALT WORK

- ☒ Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure.
- ☒ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ☒ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ☒ Do not use water to wash down fresh asphalt concrete pavement.

#### Sawcutting & Asphalt/Concrete Removal

- ☒ Completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ☒ Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ☒ If sawcut slurry enters a catch basin, clean it up immediately.

### CONCRETE, GROUT & MORTAR APPLICATION

- ☒ Store concrete, grout and mortar under cover, on pallets and away from drainage areas. These materials must never reach a storm drain.
- ☒ Wash out concrete equipment/trucks offsite or in a contained area, so there is no discharge into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ☒ Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal offsite.

### DEWATERING

- ☒ Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site. Divert run-on water from offsite away from all disturbed areas or otherwise ensure compliance.
- ☒ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ☒ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer to determine whether testing is required and how to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.

### PAINTING & PAINT REMOVAL

#### Painting cleanup

- ☒ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or surface waters.
- ☒ For water-based paints, paint out brushes to the extent possible. Rinse to the sanitary sewer once you have gained permission from the local wastewater treatment authority. Never pour paint down a drain.
- ☒ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of residue and unusable thinner/solvents as hazardous waste.

#### Paint removal

- ☒ Chemical paint stripping residue and chips and dust from materials or paints containing lead or tributyltin must be disposed as hazardous waste.
- ☒ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.

### LANDSCAPE MATERIALS

- ☒ Contain stockpiled landscaping materials by storing them under tarps when they are not actively being used.
- ☒ Stack erodible landscape material on pallets. Cover or store these materials when they are not actively being used or applied.
- ☒ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

### PROTECT SPECIFIC MANAGEMENT PRACTICES

#### Material containment BMPs

Particular care shall be exercised to prevent construction debris and materials (e.g., construction scraps, wood preservatives, oils, chemicals, etc.) from entering the public right-of-way.

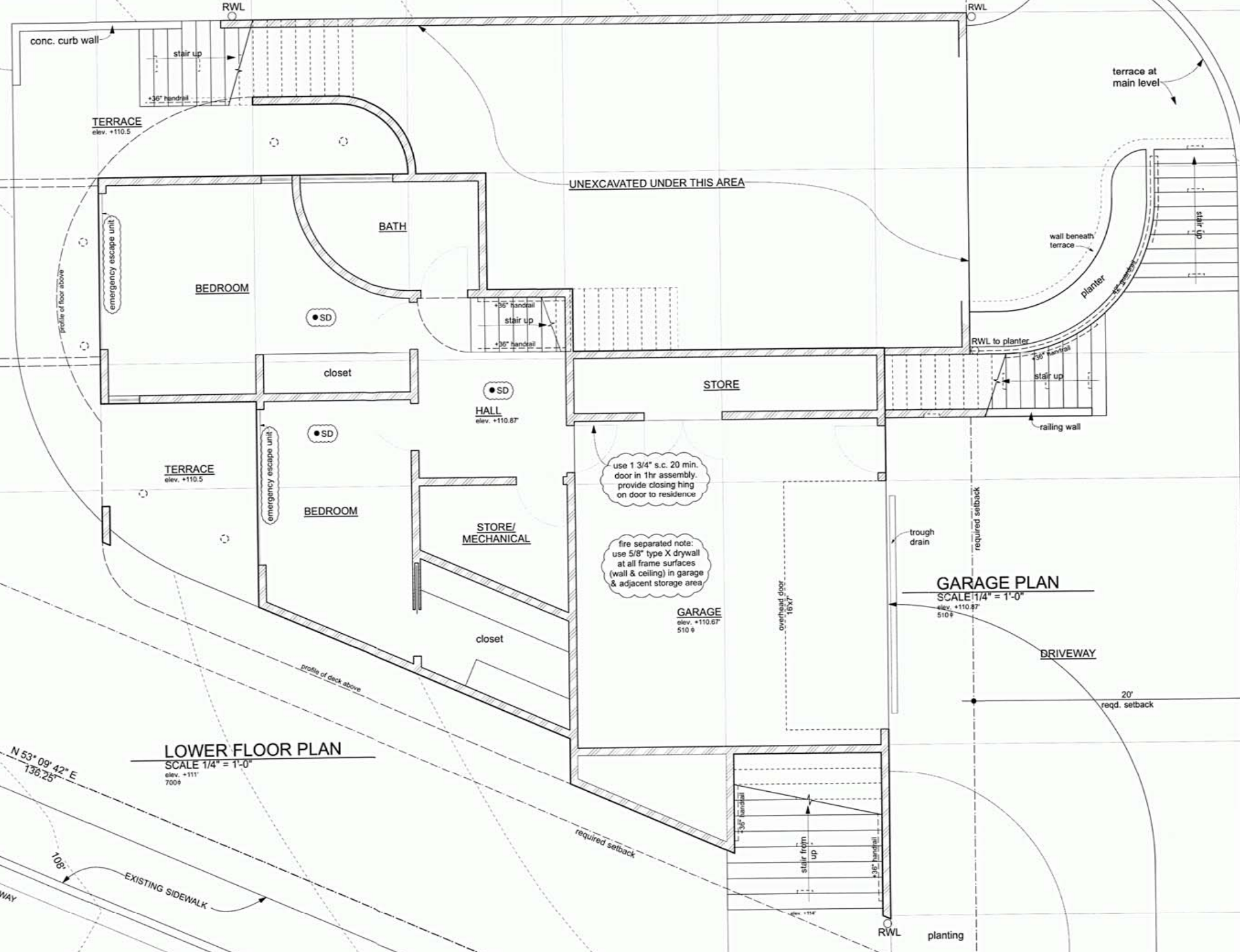
#### General Best Management Practices

Erosion and water quality practices are specified on plan sheets 1.2 and 1.3. These practices include:

- Silt fences, straw wattles, or equivalent apparatus, shall be installed at the perimeter of the construction site to prevent construction-related runoff and/or sediment from discharging to coastal waters or to areas that would eventually transport such discharge to coastal waters;
- Equipment washing, refueling, and/or servicing shall take place at least 50 feet from the bluff edge;
- All construction equipment shall be inspected and maintained at an off-site location to prevent leaks and spills of hazardous materials at the project site;
- The construction site shall maintain good construction housekeeping controls and procedures, e.g., clean up all leaks, drips, and other spills immediately; keep materials covered and protected from the elements; clean up all spills immediately; clean up after the rain (including covering exposed piles of soil and wastes); dispose of all wastes properly, place trash receptacles on site for that purpose, and cover open trash receptacles during wet weather; remove all construction debris from the site; and
- All erosion and sediment controls shall be in place prior to the commencement of construction as well as at the end of each workday.

Storm drain polluters may be liable for fines of up to \$10,000 per day!





**LOWER FLOOR PLAN**  
 SCALE 1/4" = 1'-0"  
 elev. +111  
 700#

**GARAGE PLAN**  
 SCALE 1/4" = 1'-0"  
 elev. +110.87  
 510#

S 60° 17' 18" E  
 35.43  
 24" tree

N 60° 17' 18" W  
 59.66

PALOMA AVENUE

NEW DRIVEWAY APPROACH

driveway profile  
 note sheet #1.1

min. 4" high  
 illuminated  
 house number

use 1 3/4" s.c. 20 min.  
 door in 1hr assembly.  
 provide closing hing  
 on door to residence

fire separated note:  
 use 5/8" type X drywall  
 at all frame surfaces  
 (wall & ceiling) in garage  
 & adjacent storage area

terrace at  
 main level

wall beneath  
 terrace  
 planter

RWL to planter  
 stair up  
 railing wall

trough drain  
 required setback

overhead door  
 16'x7'

required setback

profile of deck above

N 53° 09' 42" E  
 136.25'

EDGE OF TRAVELER WAY  
 EXISTING SIDEWALK

10'  
 reqd. setback

20'  
 reqd. setback

RWL

RWL

RWL

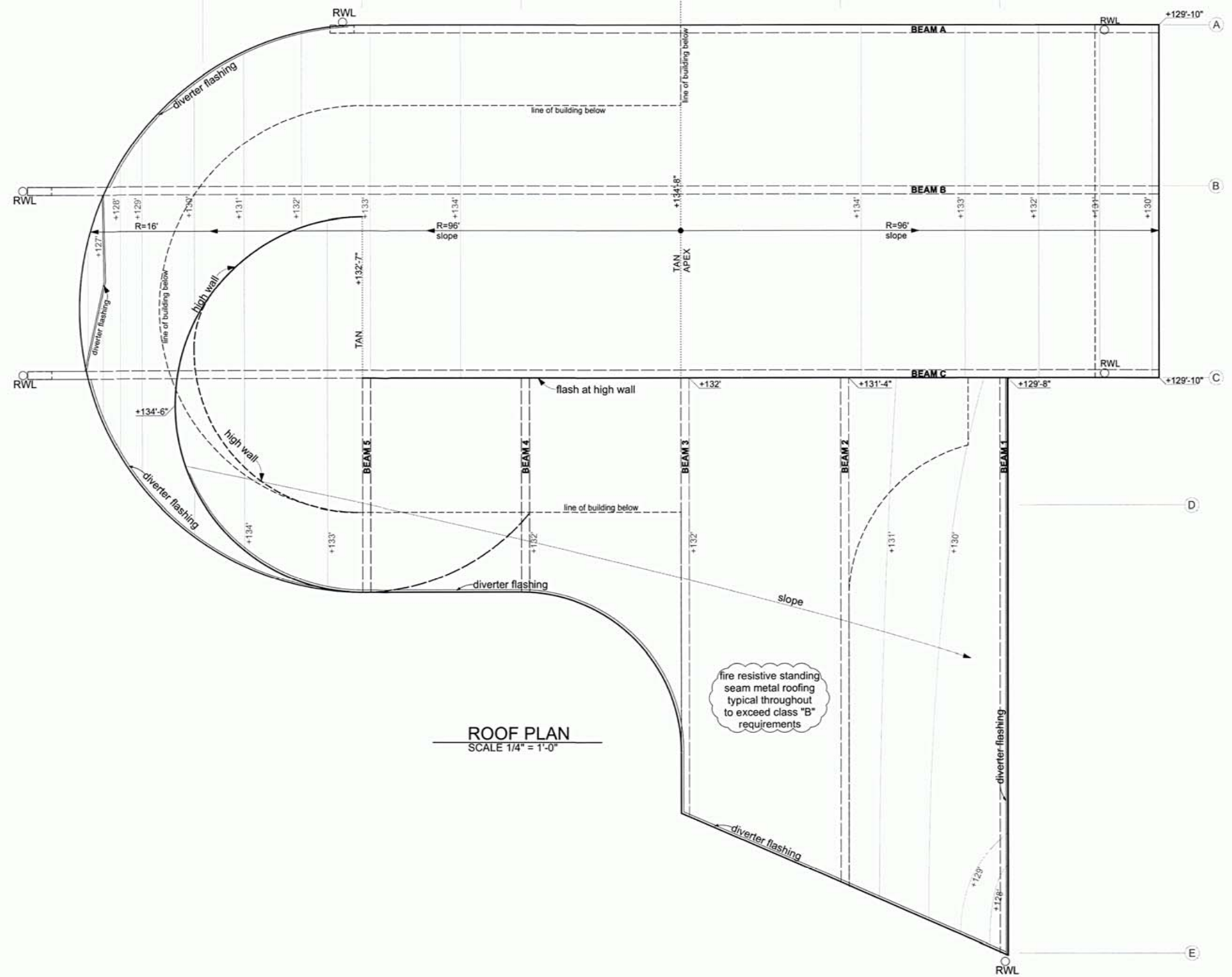
RWL

required setback

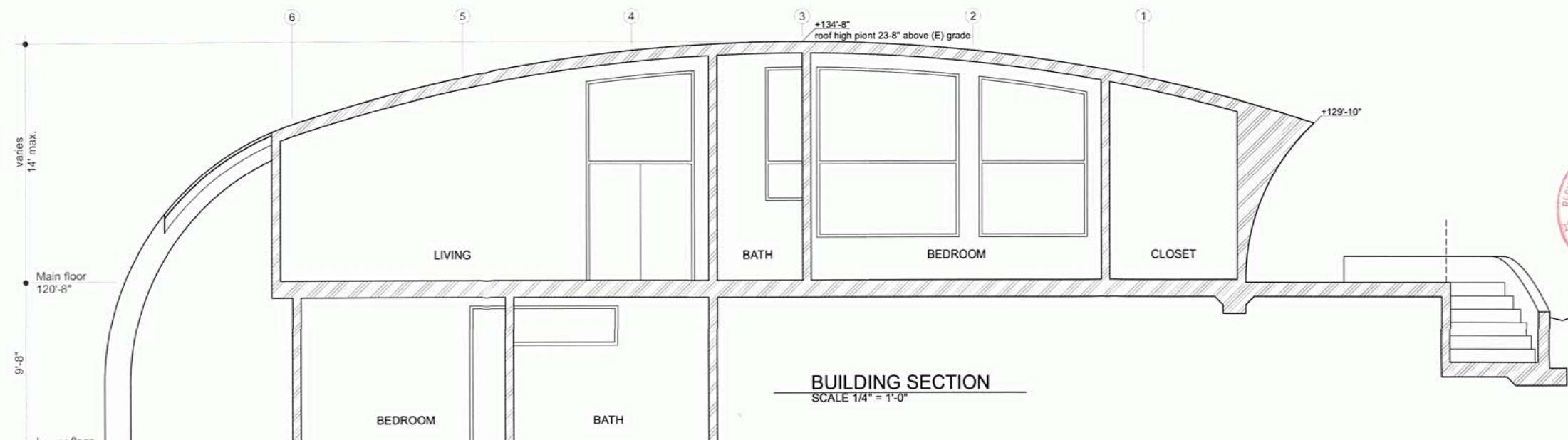
5'  
 reqd. setback

10' 10' 10' 10' 10' 6'

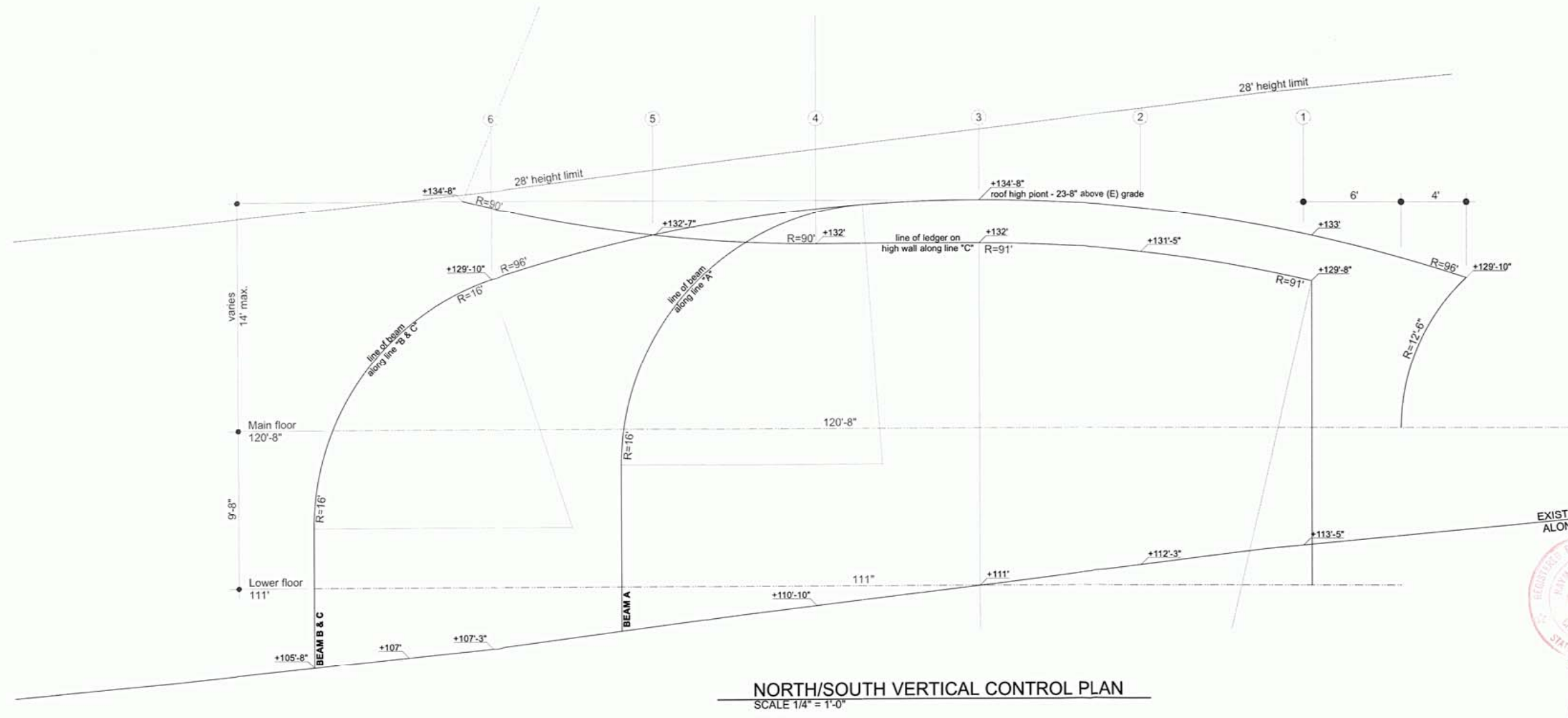
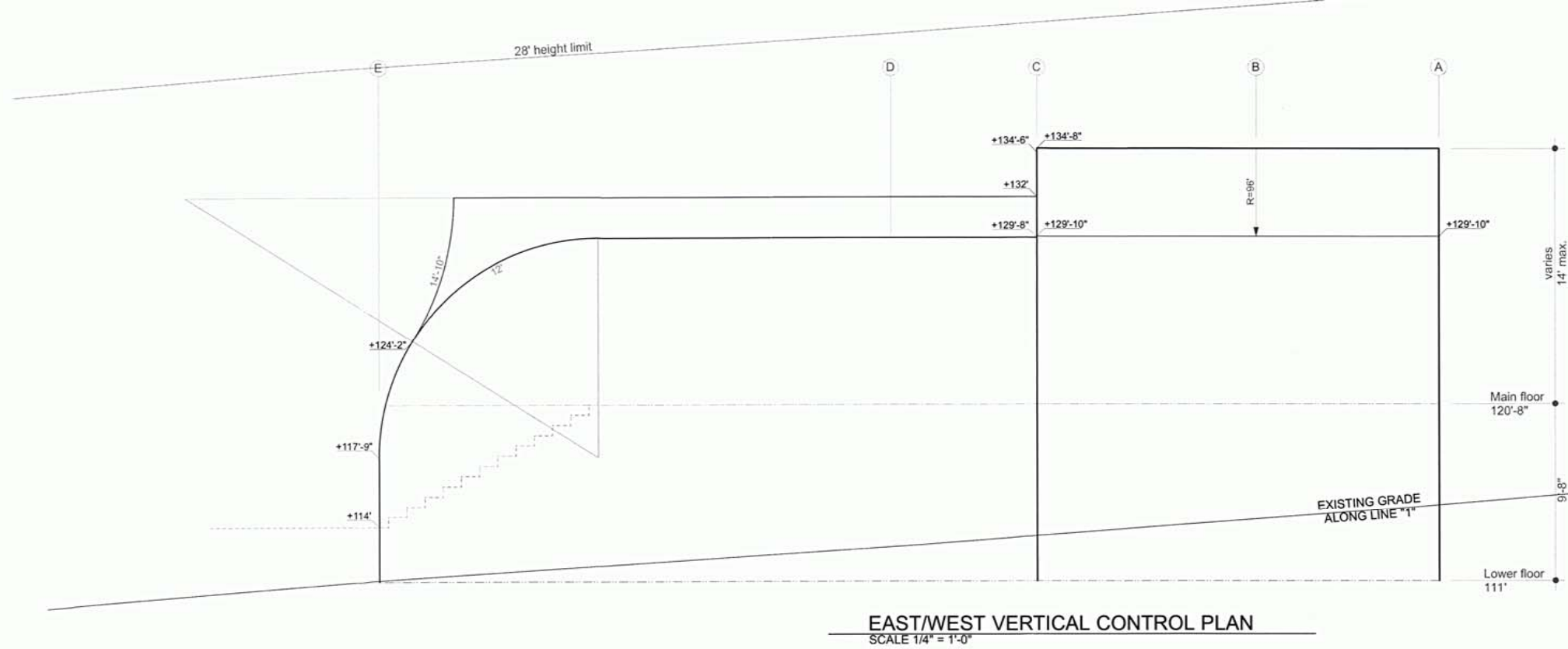
2'  
 A  
 10'  
 B  
 12'  
 C  
 8'  
 D  
 17'  
 E  
 11'  
 116'



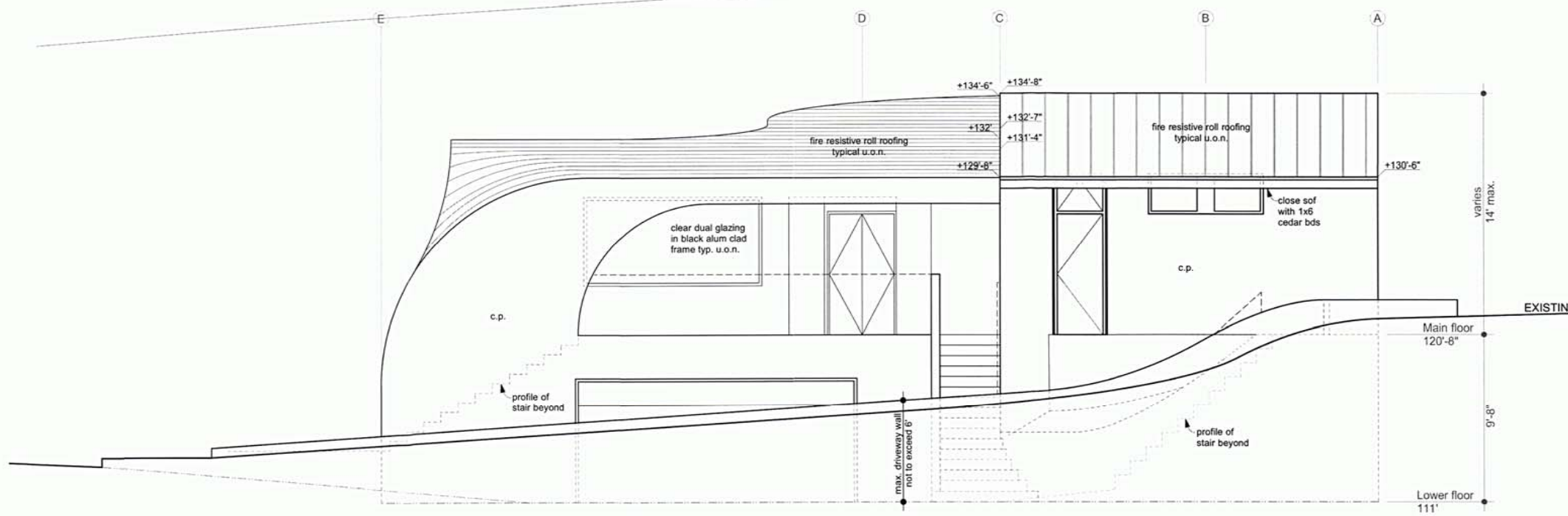
**ROOF PLAN**  
SCALE 1/4" = 1'-0"



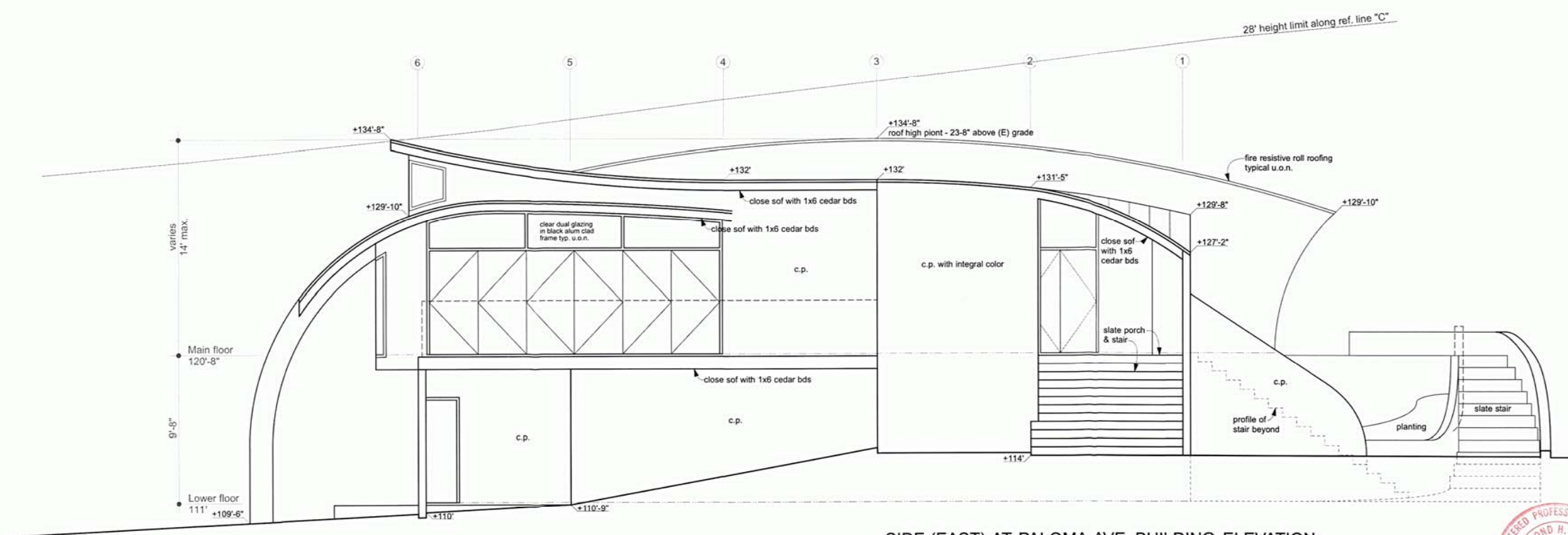
**BUILDING SECTION**  
SCALE 1/4" = 1'-0"



28' height limit along ref. line "1"



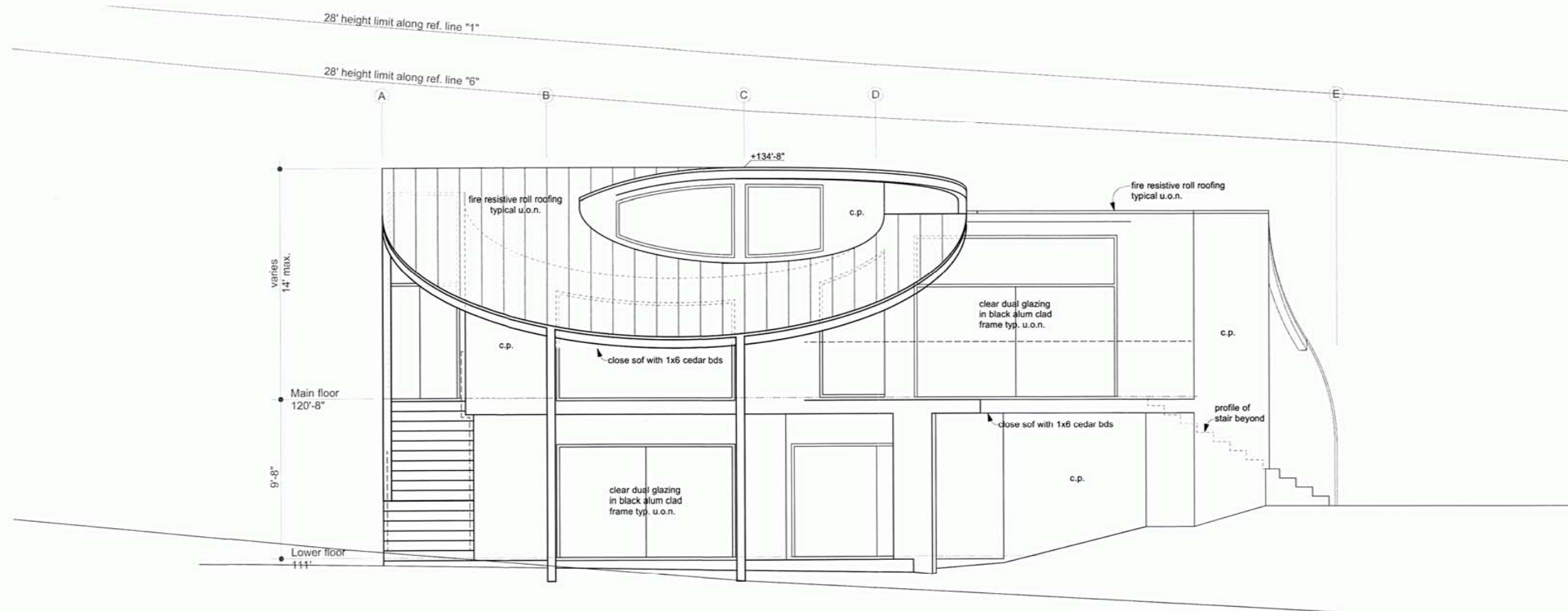
REAR (NORTH) BUILDING ELEVATION  
SCALE 1/4" = 1'-0"



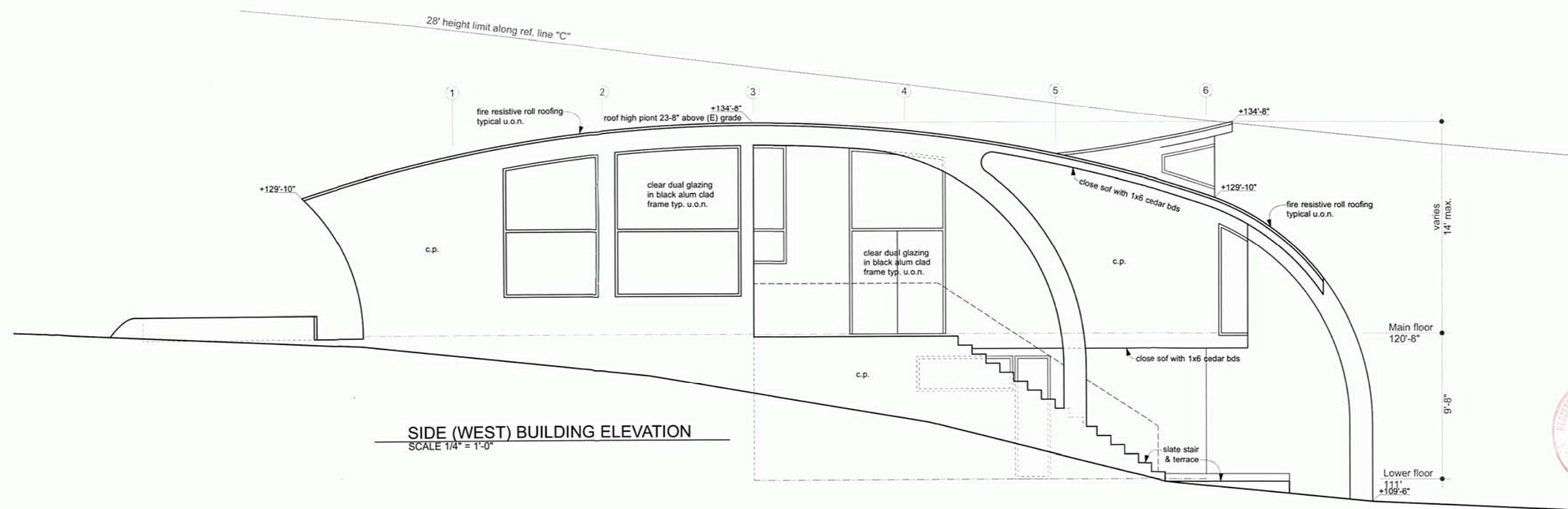
SIDE (EAST) AT PALOMA AVE. BUILDING ELEVATION  
SCALE 1/4" = 1'-0"



11/14/15  
16 Nov



**FRONT (SOUTH AT AVE. BALBOA) BUILDING ELEVATION**  
 SCALE 1/4" = 1'-0"



**SIDE (WEST) BUILDING ELEVATION**  
 SCALE 1/4" = 1'-0"