

May 20, 2019

Eric Cox
299 East Warren Avenue
Fremont, CA 94539

Dear Mr. Cox:

SUBJECT: Coastside Design Review Continuation
Cabrillo Highway and Virginia Avenue, Moss Beach
APN 037-133-100; County File No. PLN 2018-00097

At its meeting of April 11, 2019, the San Mateo County Coastside Design Review Committee (CDRC) considered your application for design review recommendation to allow construction of a new 5,402 sq. ft., two-story mixed-use building, comprised of a 2,341 sq. ft. commercial space and nineteen (19) parking spaces on the first floor and two (2) residential units on the second floor, located on a 9,512 sq. ft. parcel (after Lot Merger), as part of a Use Permit (UP), hearing-level Coastal Development Permit (CDP), Certificate of Compliance (COC) Type B to legalize the parcel and Lot Merger. No trees are proposed for removal and only minor grading is proposed. The CDRC was unable to determine the findings for design review approval based on certain design deficiencies. In order to resolve these deficiencies in the project's design, a more thorough review of the "Standards for Design for One-Family and Two-Family Residential Development in the Midcoast" manual is required.

As such, recommendations from the CDRC for further project redesign are as follows:

Recommendations:

1. Show proposed Signage on plans.
2. Show light fixture locations, adjacent to upper unit doors on plans.
3. Roof shall be accurately depicted on plans.
4. Add trim to garage doors.
5. The plans shall have consistent information, including call-outs of elements and materials.
6. Railing design details shall be clarified including style, posts, pickets or cable elements.



7. Wayfinding to main entries of commercial spaces, should be enhanced.
8. Commercial space entries should be enhanced such that they have more prominence, identity.
9. Trash enclosure shall have a roof overhang, consistent with main building. The structure shall be made less prominent and located in a less visible location. The depths of roof eaves shall match the main building.
10. Add perimeter planting, including accent planter pots to commercial entries, vines at solid fence wall in parking lot, and along building frontage at Virginia Avenue.
11. Surface of parking lot had proposed turf block throughout, which was unlikely to conform to Water Efficient Landscape Ordinance (WELo) requirements. The applicant could use turf block in parking stalls if they choose.
12. Landscape shall conform to WELo requirements.
13. A sidewalk shall be provided to each Commercial entrance facing Cabrillo Highway. The building needs to be setback from the property line to provide pedestrian circulation to all building entrances.
14. Sidewalk along Virginia Avenue is redundant. Building entrances on this side of the commercial building can have a sidewalk which connects perpendicularly to existing sidewalk to provide more space for landscaping.
15. Dark sky compliant lighting to be provided at every building exterior door, as required by code.
16. The building mass (both roof and walls) facing Virginia Avenue is not well articulated. More articulation should be added to break up the mass, long walls and long rooflines. Architectural features should be incorporated to make entries facing Virginia more prominent and to provide coverage during inclement weather.
17. Roof plan and elevations do not coordinate, and roof eave depths on building are not consistent. Ensure all drawings details are coordinated.

At the meeting, you were presented with the following available options at the end of the CDRC's deliberation of the project: (i) request for a decision from the CDRC on the plans presented or (ii) request that the project be considered at the next meeting to provide you with ample time to consider and incorporate the elements recommended for project redesign. You chose the second option, and the CDRC directed staff to schedule your project for consideration at a later date.

Please contact Dennis P. Aguirre, Design Review Officer, at 650/363-1867, if you have any questions.

To provide feedback, please visit the Department's Customer Survey at the following link:
<http://planning.smcgov.org/survey>.

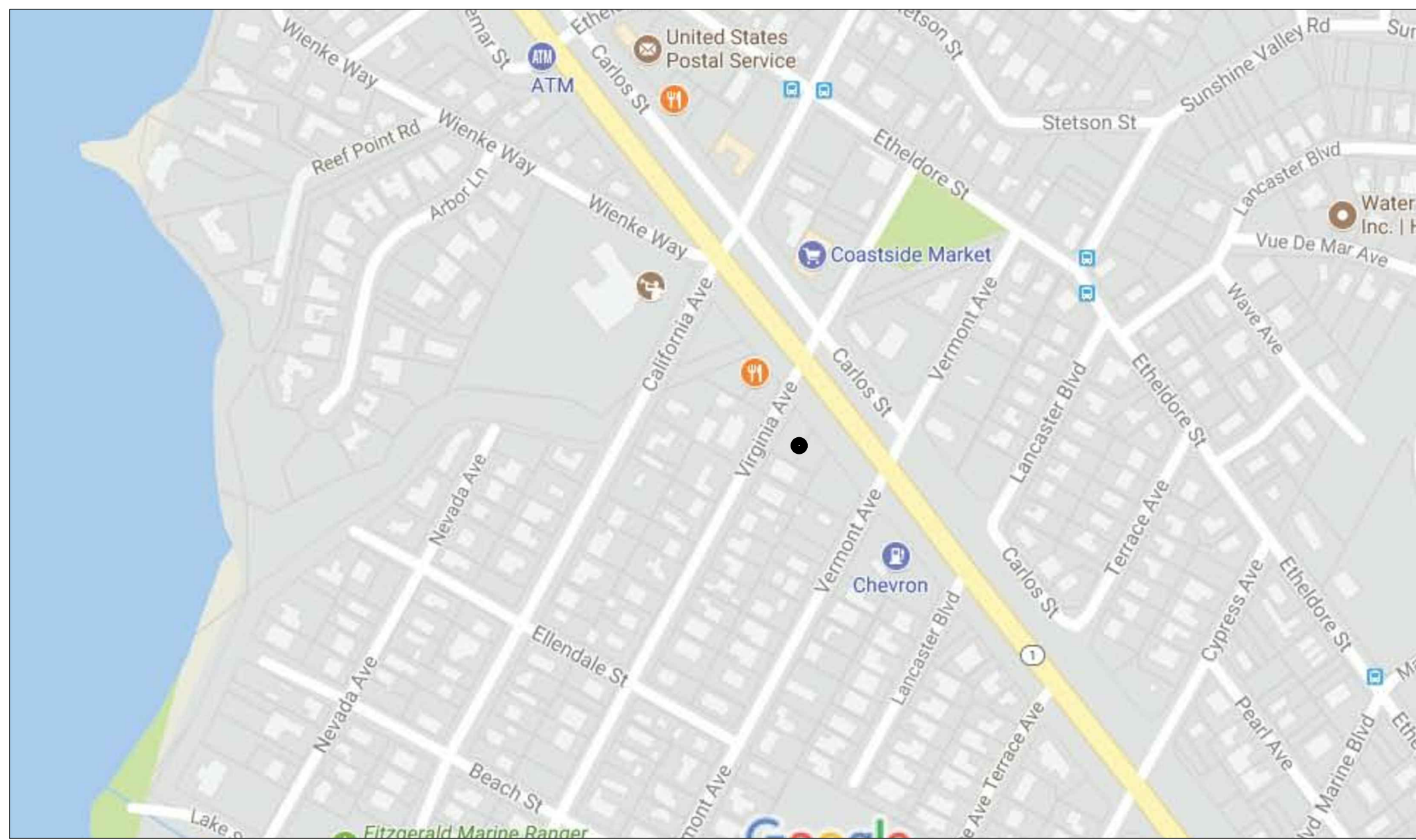
Sincerely,



Dennis P. Aguirre
Design Review Officer

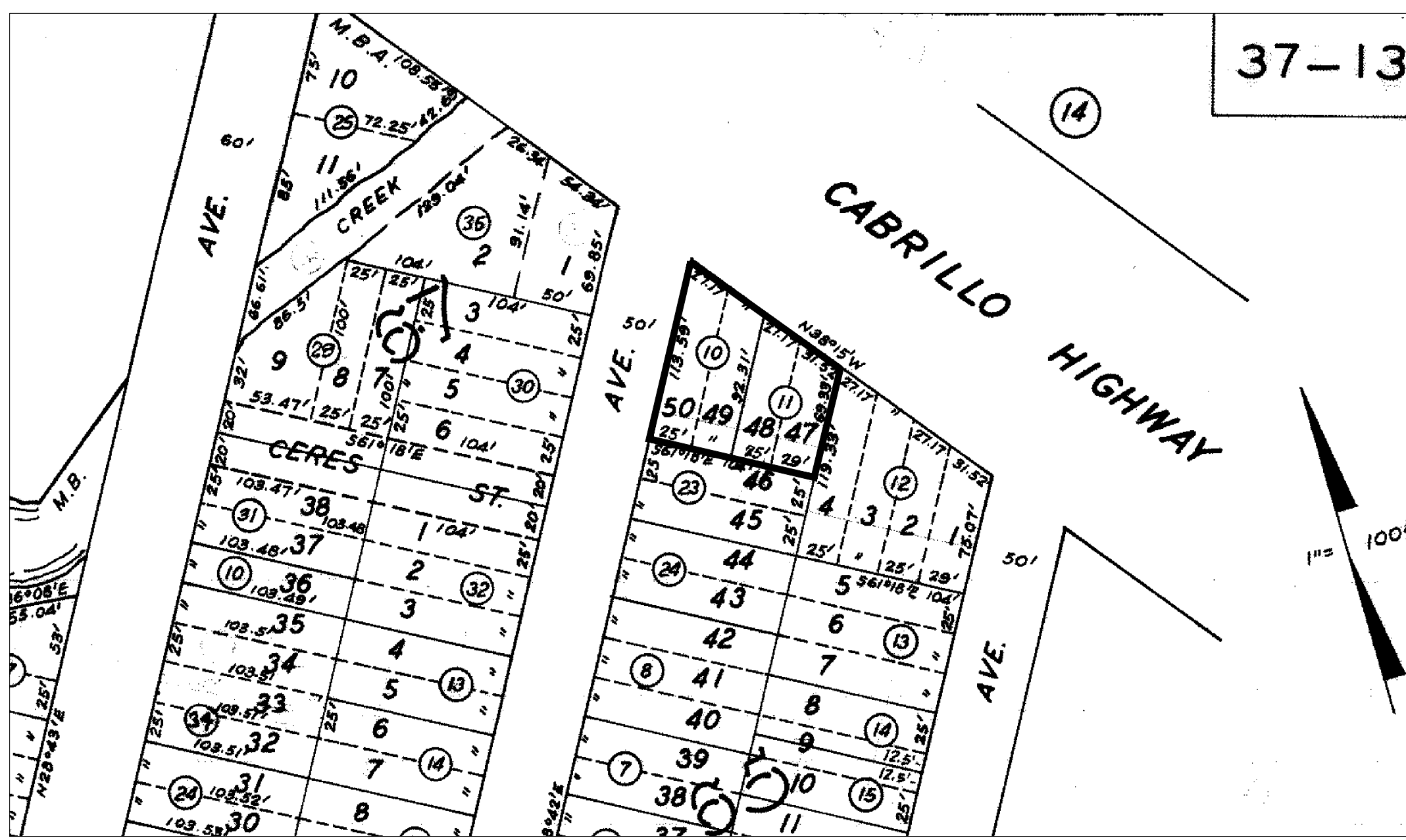
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cc: Bruce Chan, Member Architect
Katie Kostiuk, Member Architect
Melanie Hohnbaum, Moss Beach Community Representative
Edward Love, Interested Member of the Public



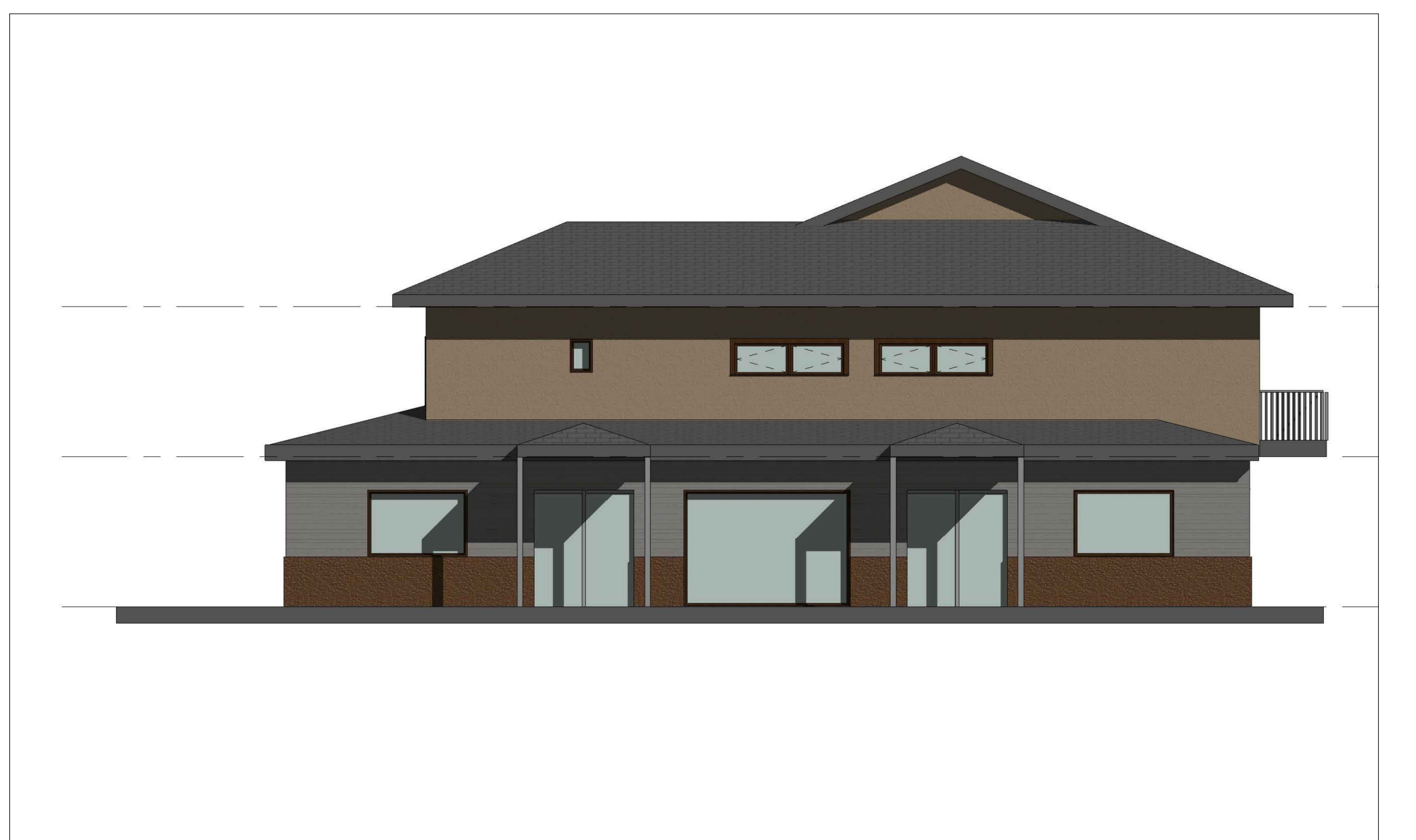
1 VICINITY MAP

NOT TO SCALE



2 PARCEL MAP

NOT TO SCALE



3 STREET VIEW

NOT TO SCALE

PROJECT INFORMATION:

- Zoning: C-1
 - APN: 037133100 AND 037133110
 - Type: VB
 - Lot area: 9512 sqft
 - Stories: 2
 - Commercial area: 2341
 - 2nd Floor Residential area: 2341
 - Garage: 720 sqft
 - Total Bldg area: 5402 sqft
 - Bldg Footprint: 3061
 - Lot Coverage: 3061/9512=32%
 - Floor Area Ratio: 4682/9512=0.49
- Allowable Lot Coverage= 50%
Allowable Floor Area Ratio= 1.0

SCOPE OF WORK:

NEW BUILDING MIXED USE, COMMERCIAL AND RESIDENTIAL

Engineer:

KEMBCON ENGINEERS

Building Owner:

THOMAS MOORE
275 WILLITS ST, DALY CITY
CA 94014

GENERAL NOTES:

1. The work included under this contract shall consist of all labor, materials, transportation, tools and equipment necessary for the construction of the project leaving all work ready for use, unless otherwise noted.
2. All construction shall conform to 2016 CBC, 2016 CPC, 2016 CMC, 2016 CEES, and any other local governing codes and ordinances. In the event of conflict, the most stringent shall apply.
3. The plans indicate the general extent of new construction necessary for the work, but are not intended to be all-inclusive. All new work necessary to allow for a finished job in accordance with the intent of the construction documents is included, regardless of whether shown on the drawings or mentioned in the notes.
4. Any errors, omissions, or conflicts found in various parts of the construction documents shall be brought to the attention of the designer and owner for clarification before proceeding with the work.
5. The general contractor shall maintain a current and complete set of construction documents on the job site during all phases of construction for use by all trades and shall provide all subcontractors with current documents as required.
6. The general contractor shall verify and assume full responsibility for all dimensions and site conditions. The general contractor shall inspect the existing premises and structures and take note of existing conditions prior to submitting prices. All discrepancies shall be brought to the attention of the designer and owner prior to construction.
7. The general contractor shall check and verify all dimensions and conditions of building and site prior to proceeding with the work. He shall pay attention to implied plan and sectional spatial relationships and verify all axes and implied symmetries before beginning work. All dimensions are to be checked for accuracy as the work proceeds.
8. Designer does not assume responsibility for existing conditions nor will the Designer be responsible for construction means, methods or procedures of construction or safety, which shall remain the responsibility of the general contractor.
9. All dimensions when shown in plan are to face of finish or concrete unless otherwise noted.
10. All dimensions are to finished wall or framing in sections or elevations unless otherwise noted.
11. Written dimensions take precedence. DO NOT SCALE DRAWINGS.
12. Coordinate all work with existing conditions.

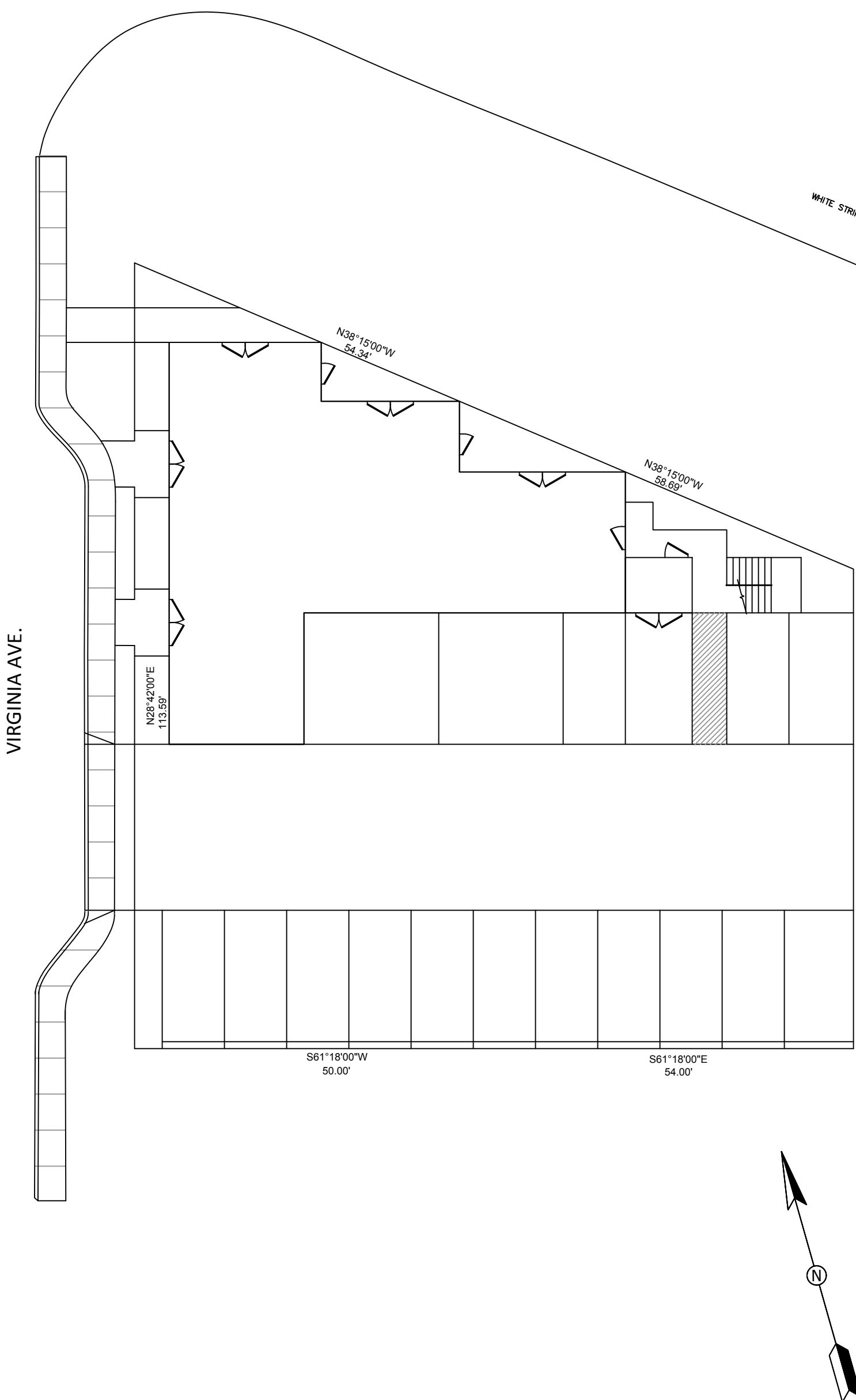
APPLICABLE CODES:

All construction shall conform to the currently adopted edition of the building code and any other local governing codes and ordinances. In the event of conflict, the most stringent shall apply. Code editions used for the design of the project:

- 2016 California Residential Code (CRC)
- 2016 California Mechanical Code (CMC)
- 2016 California Plumbing Code (CPC)
- 2016 California Electrical Code (CEC)
- 2016 California Fire Code (CFC)
- 2016 California Green Building Standards Code (CGBSC)
- California Title 24 Energy Standards

SHEET INDEX:

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- L2.0 : LANDSCAPE PLANTS



4 SITE PLAN

Scale: 1/16" = 1'-0"



5 PERSPECTIVE

NOT TO SCALE

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KEMBCON ENGINEERS
CIVIL AND STRUCTURAL ENGINEERS
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MILLBRAE, CA 94030
650.343.8310
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REGISTERED PROFESSIONAL ENGINEER
ERIC L. COX
NO.C.E. 24162
CIVIL
STATE OF CALIFORNIA

7/9/2019

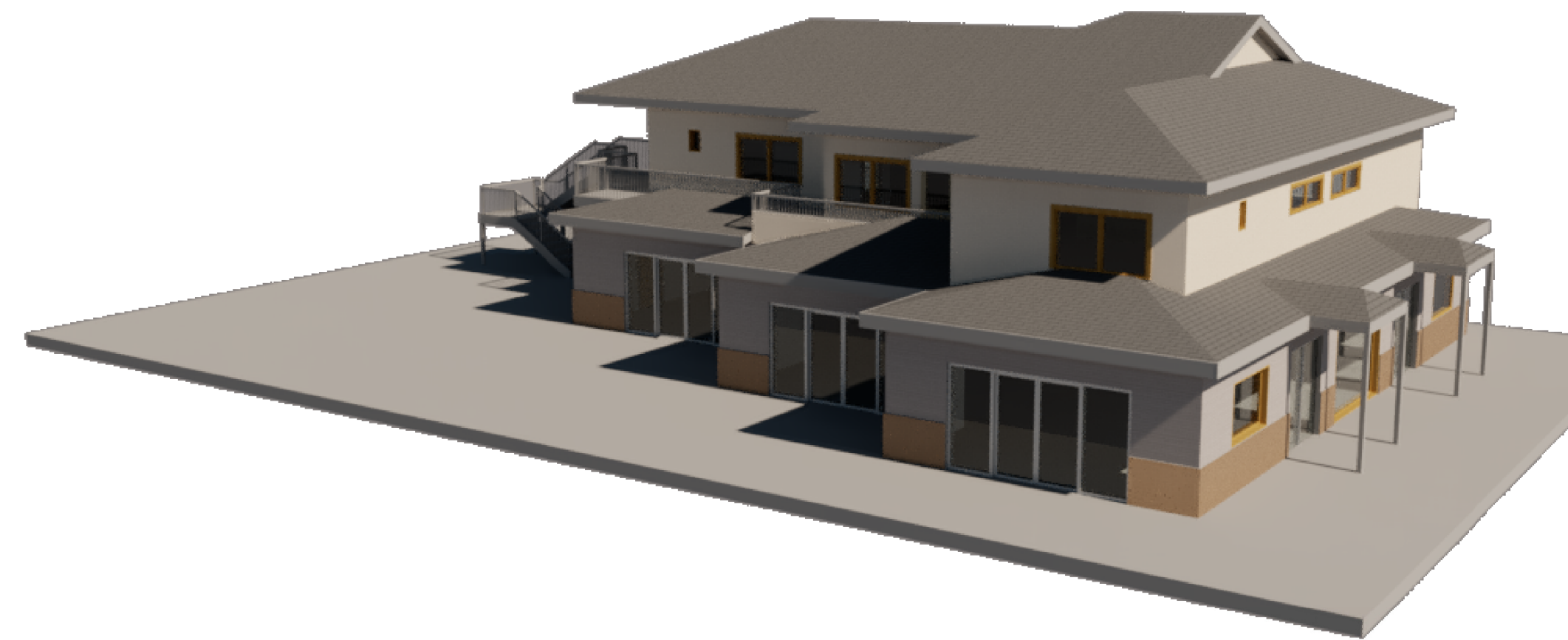
- Virginia Ave. Moss Beach, CA -

PROJECT INFORMATION AND SITE PLAN

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② North
1/8" = 1'-0"



① (3D)



③ South
1/8" = 1'-0"



④ East
1/8" = 1'-0"



⑤ West
1/8" = 1'-0"

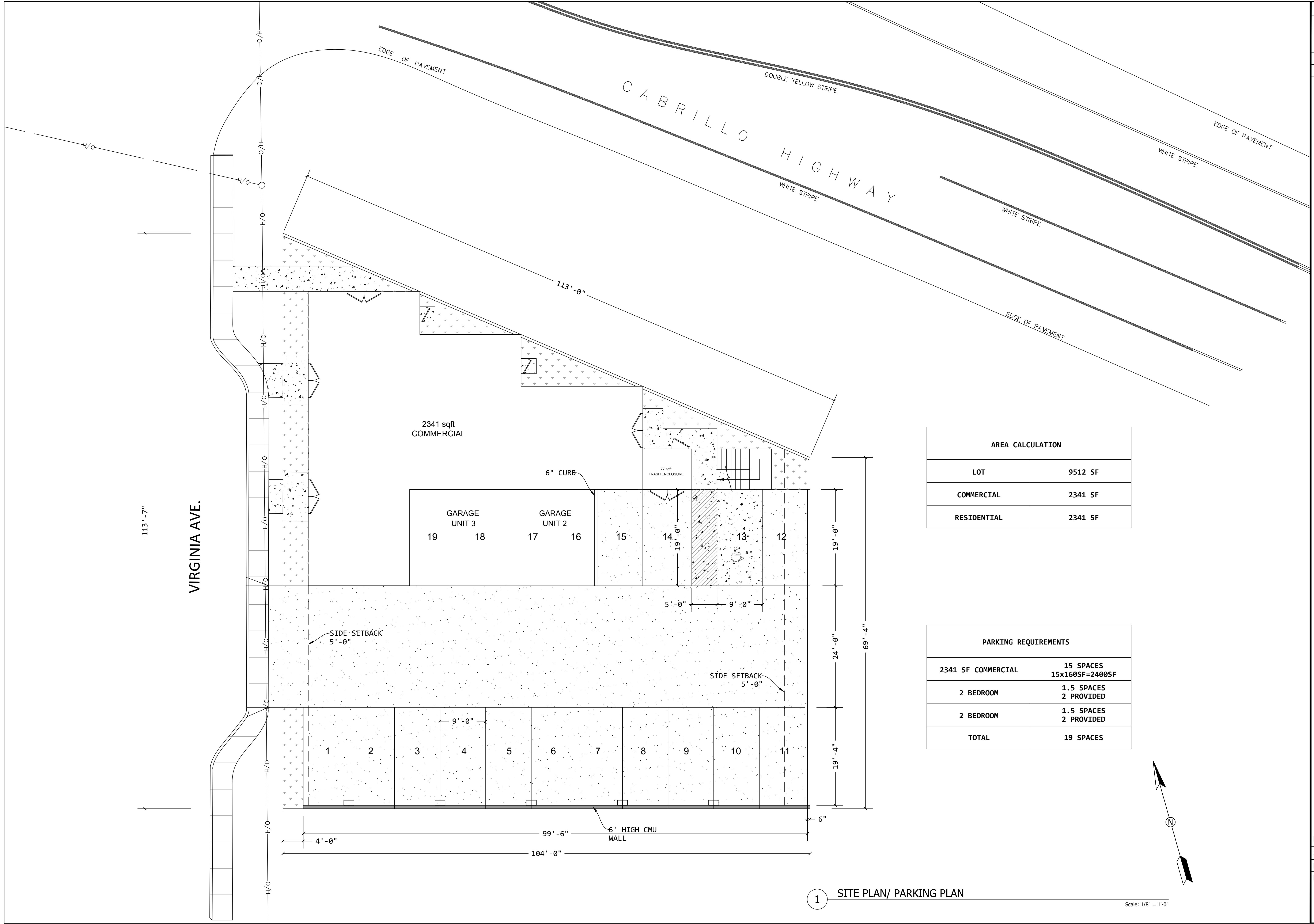
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650.343.8310
engineers@kerbeon.com

Virginia Ave,
Moss Beach,
CA 94038

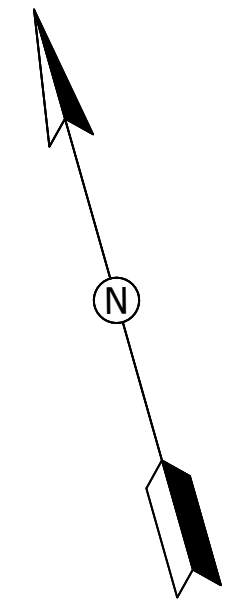
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| AREA CALCULATION | |
|------------------|---------|
| LOT | 9512 SF |
| COMMERCIAL | 2341 SF |
| RESIDENTIAL | 2341 SF |

| PARKING REQUIREMENTS | |
|----------------------|------------------------------|
| 2341 SF COMMERCIAL | 15 SPACES 15x160SF=2400SF |
| 2 BEDROOM | 1.5 SPACES 2 PROVIDED |
| 2 BEDROOM | 1.5 SPACES 2 PROVIDED |
| TOTAL | 19 SPACES |



1 SITE PLAN/ PARKING PLAN

Scale: 1/8" = 1'-0"

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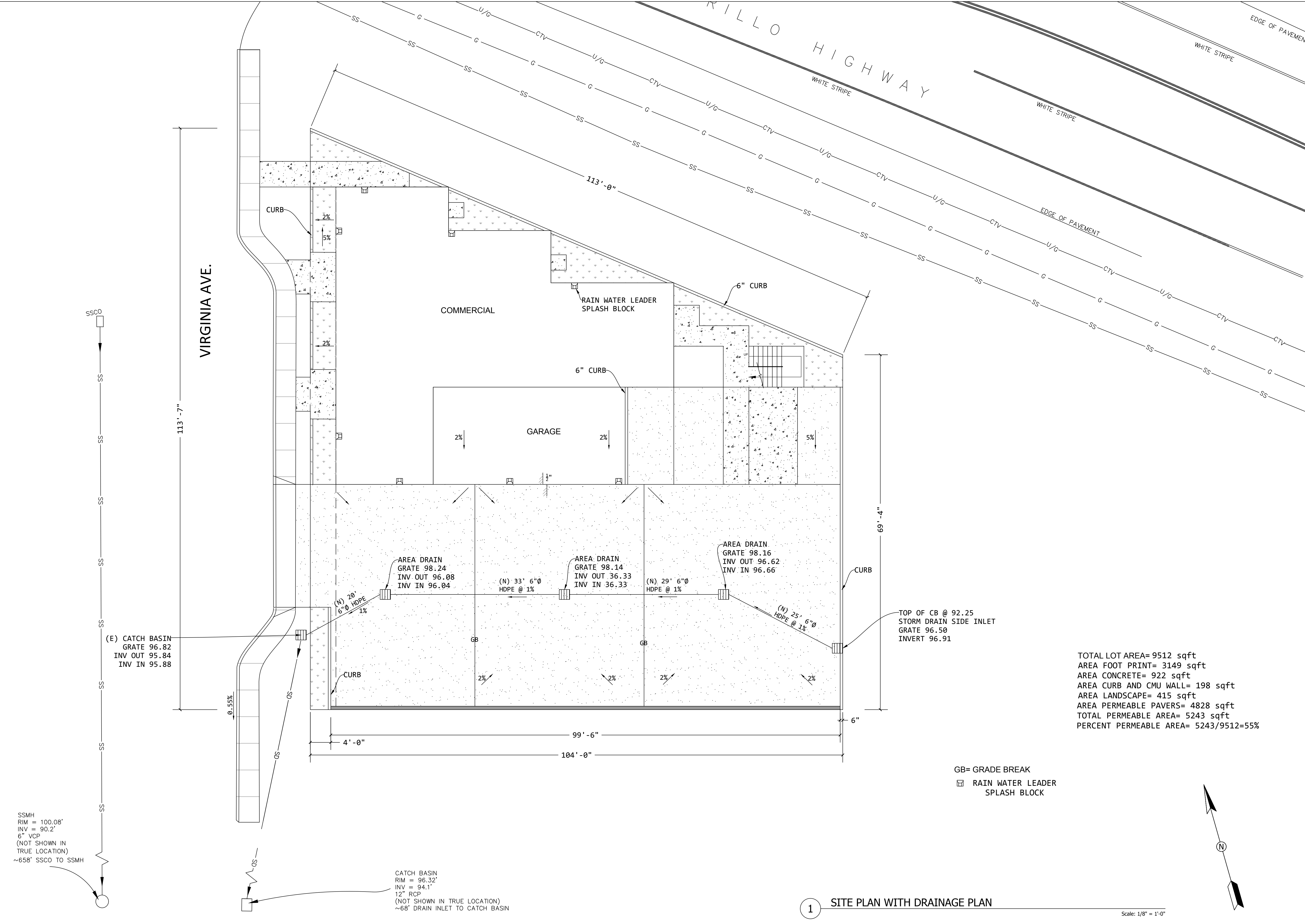
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- Virginia Ave. Moss Beach, CA -

SITE PLAN/ PARKING PLAN

DATE: 3/8/2018
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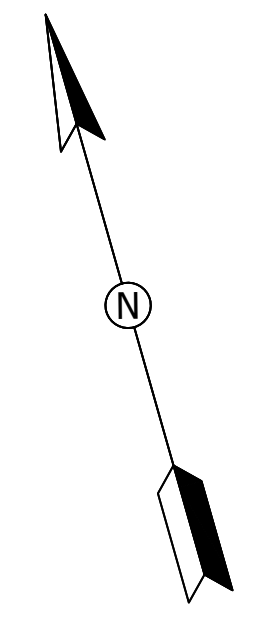
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TOTAL LOT AREA= 9512 sqft
 AREA FOOT PRINT= 3149 sqft
 AREA CONCRETE= 922 sqft
 AREA CURB AND CMU WALL= 198 sqft
 AREA LANDSCAPE= 415 sqft
 AREA PERMEABLE PAVERS= 4828 sqft
 TOTAL PERMEABLE AREA= 5243 sqft
 PERCENT PERMEABLE AREA= 5243/9512=55%

GB= GRADE BREAK
 [Symbol] RAIN WATER LEADER SPLASH BLOCK

SSMH
 RIM = 100.08'
 INV = 90.2'
 6" VCP
 (NOT SHOWN IN TRUE LOCATION)
 ~658' SSCO TO SSMH



1 SITE PLAN WITH DRAINAGE PLAN

Scale: 1/8" = 1'-0"

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- Virginia Ave. Moss Beach, CA -

DRAINAGE PLAN

DATE: 3/8/2018
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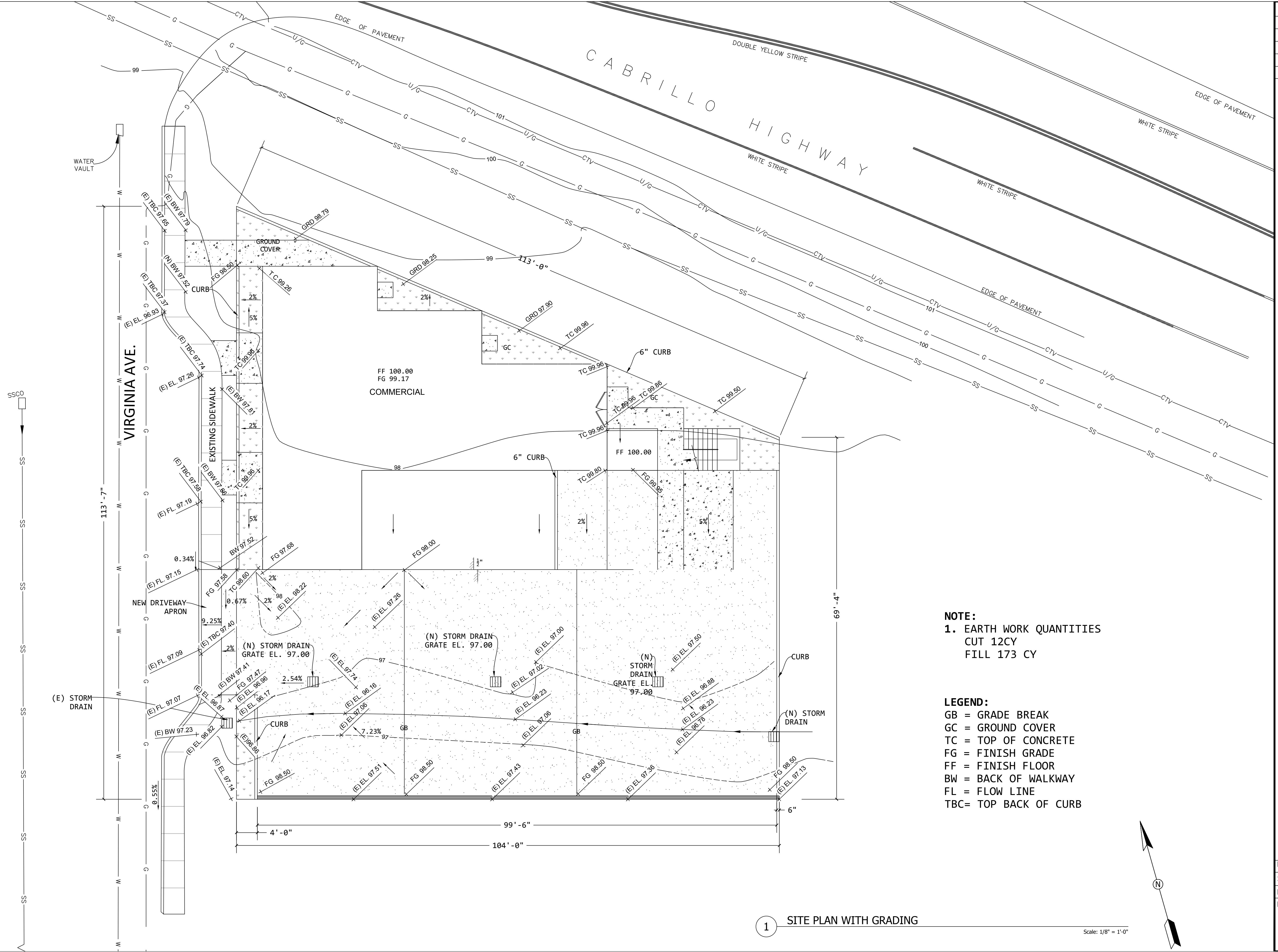
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Virginia Ave. Moss Beach,
 CA -

GRADING PLAN

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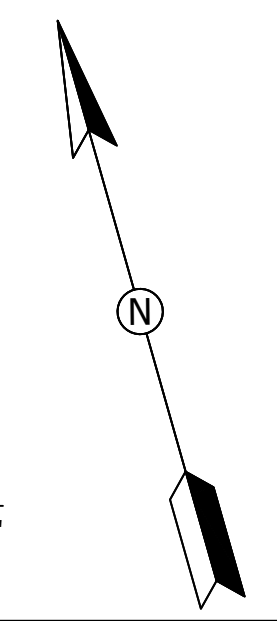


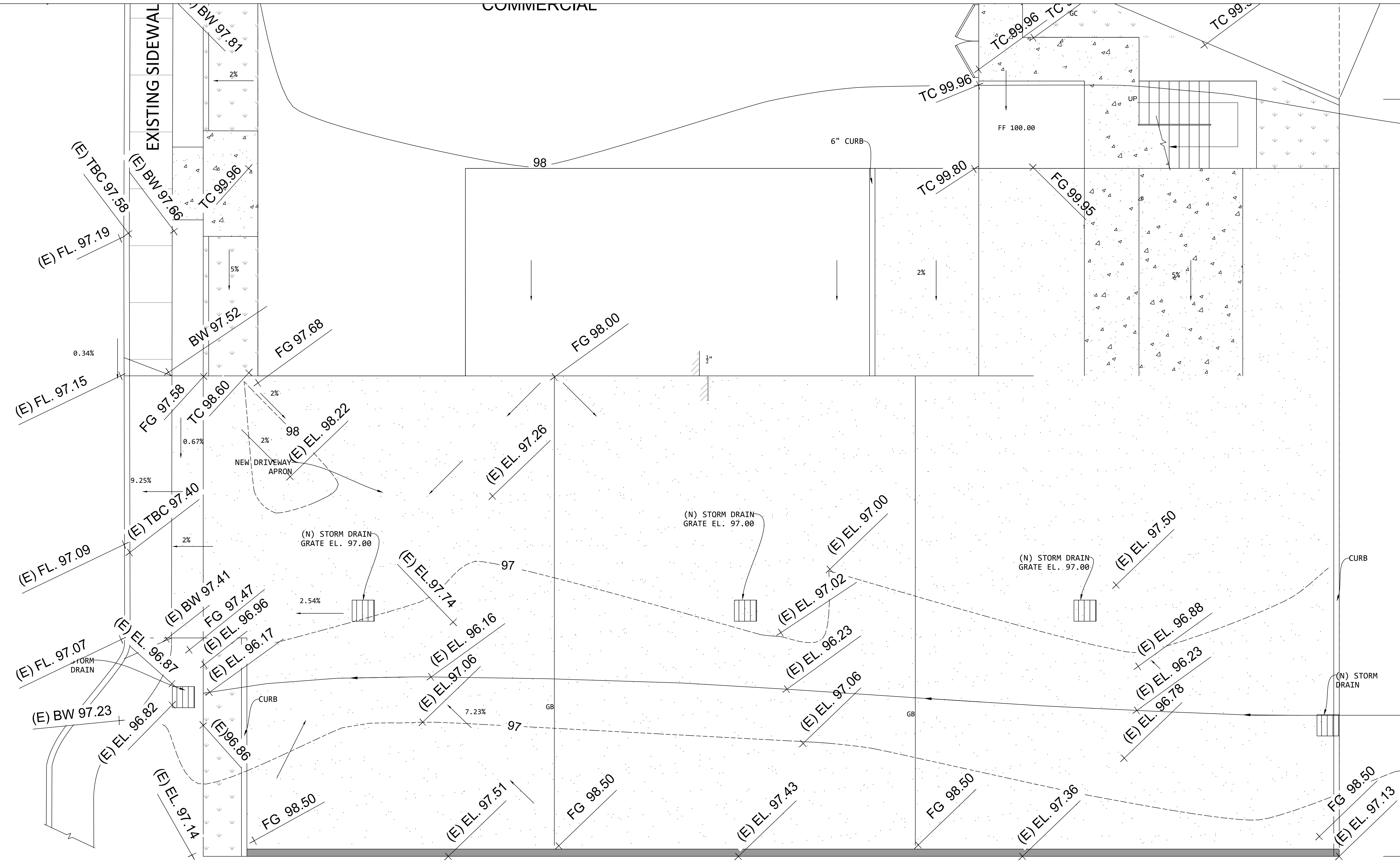
NOTE:
 1. EARTH WORK QUANTITIES
 CUT 12CY
 FILL 173 CY

LEGEND:
 GB = GRADE BREAK
 GC = GROUND COVER
 TC = TOP OF CONCRETE
 FG = FINISH GRADE
 FF = FINISH FLOOR
 BW = BACK OF WALKWAY
 FL = FLOW LINE
 TBC= TOP BACK OF CURB

1 SITE PLAN WITH GRADING

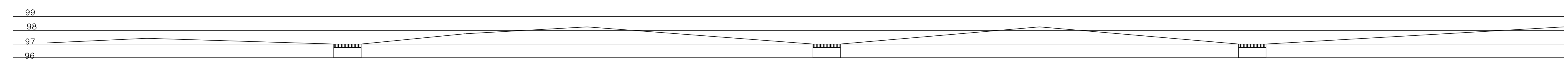
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1 SITE PLAN WITH GRADING

Scale: 1/4" = 1'-0"



2 SITE SECTION THRU PARKING

Scale: 1/4" = 1'-0"

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- Virginia Ave. Moss Beach,
 CA -

GRADING PLAN

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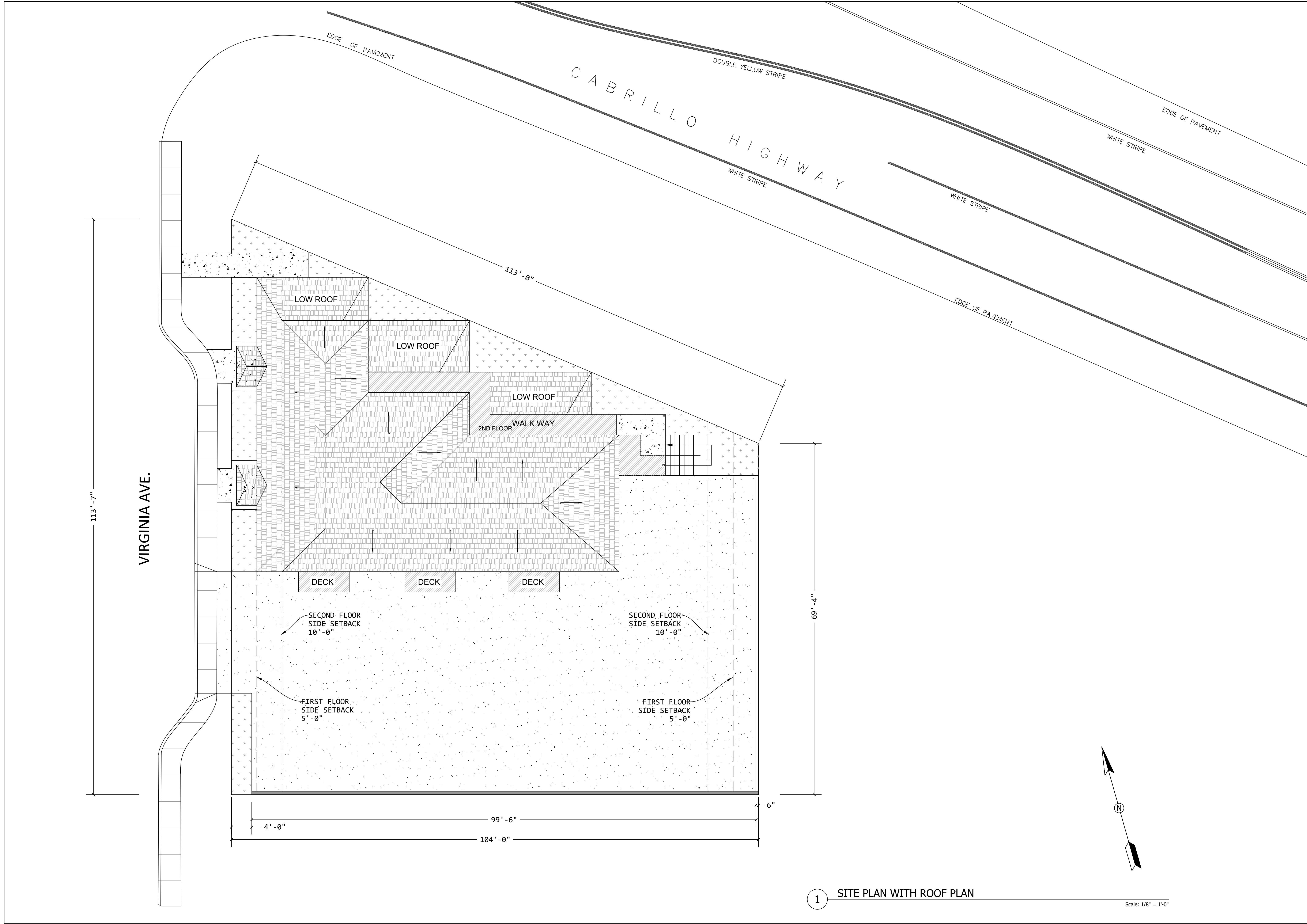
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SITE PLAN WITH ROOF PLAN - Virginia Ave. Moss Beach, CA -

SITE PLAN WITH ROOF PLAN

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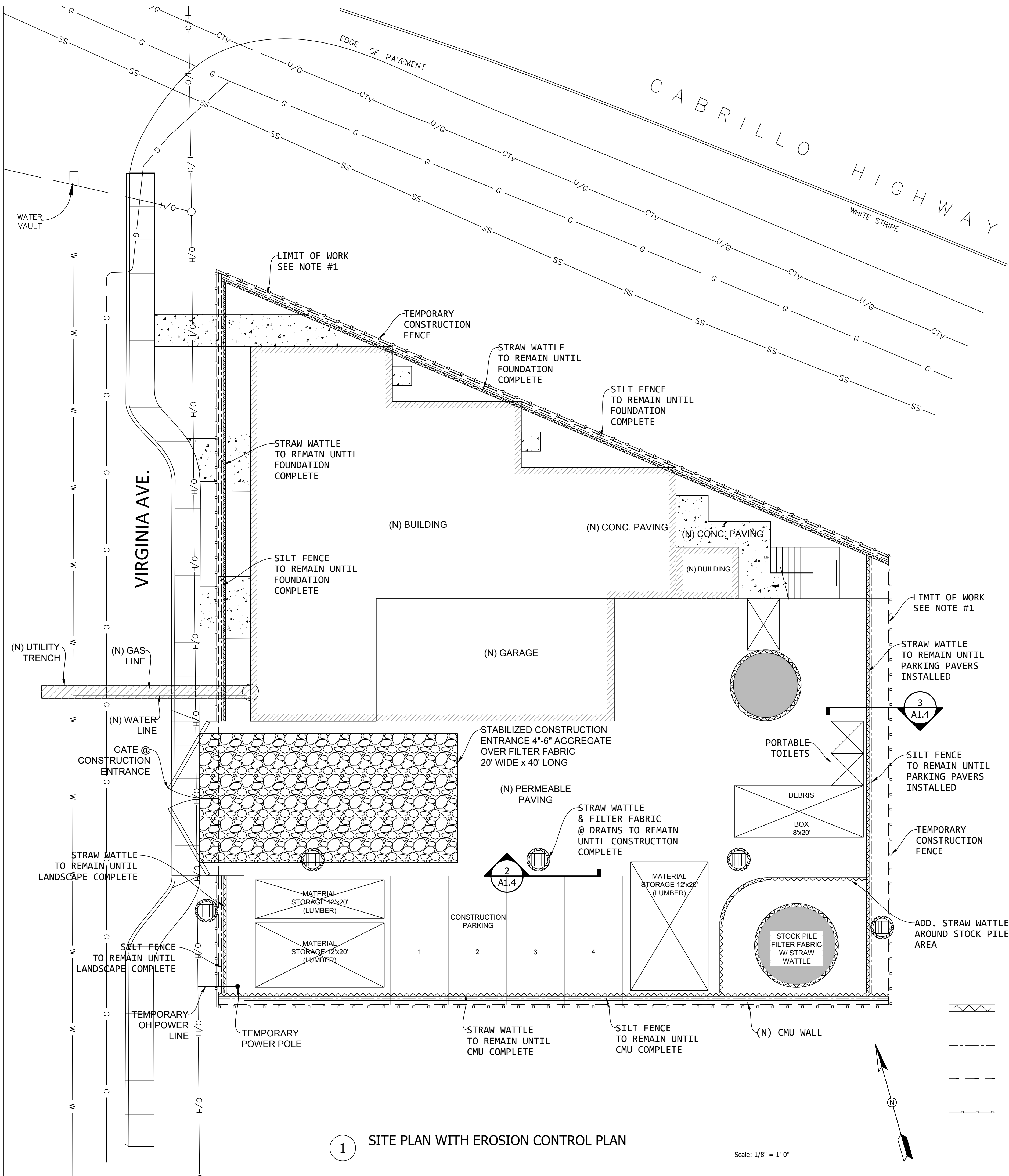


1 SITE PLAN WITH ROOF PLAN

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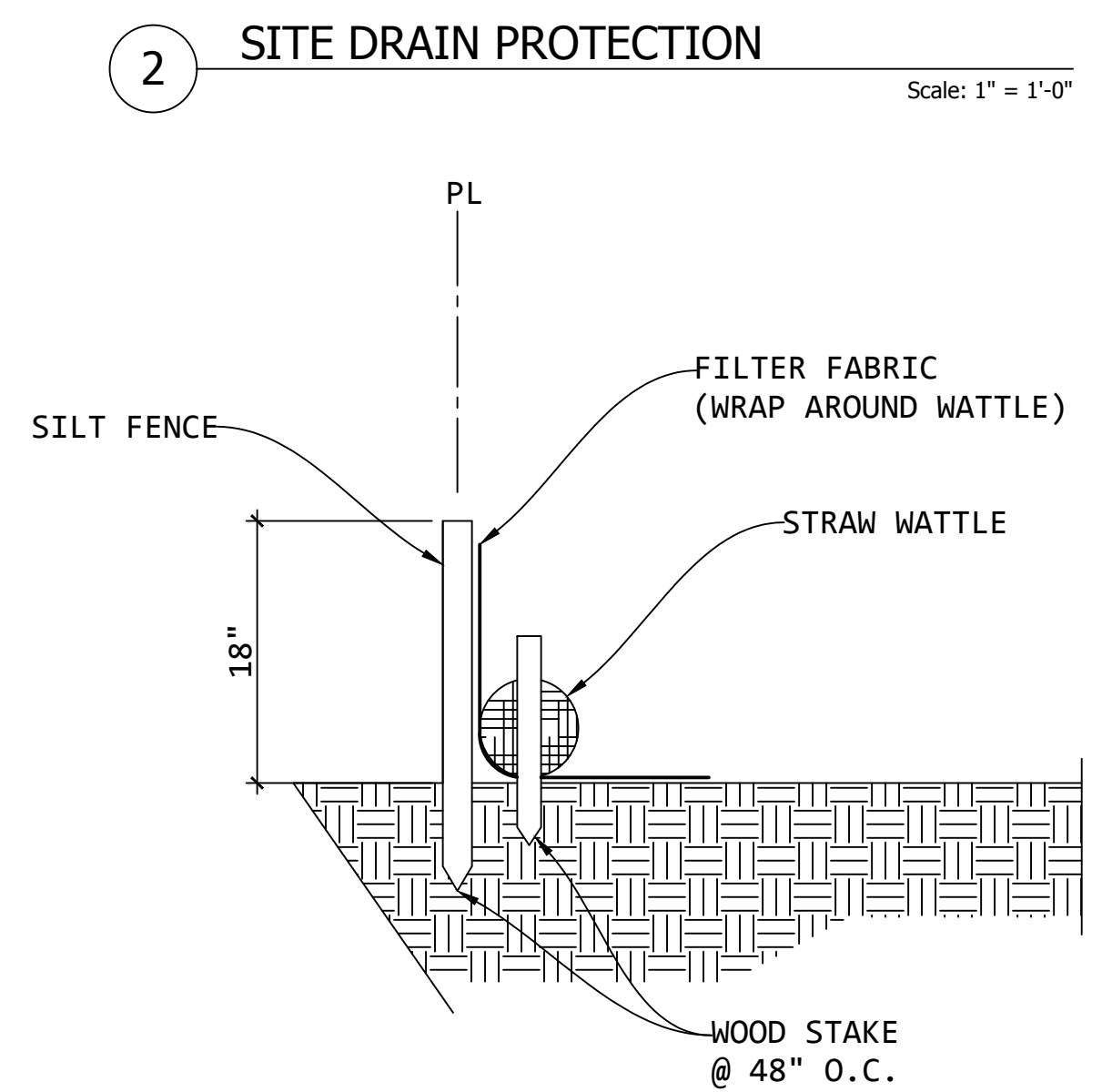
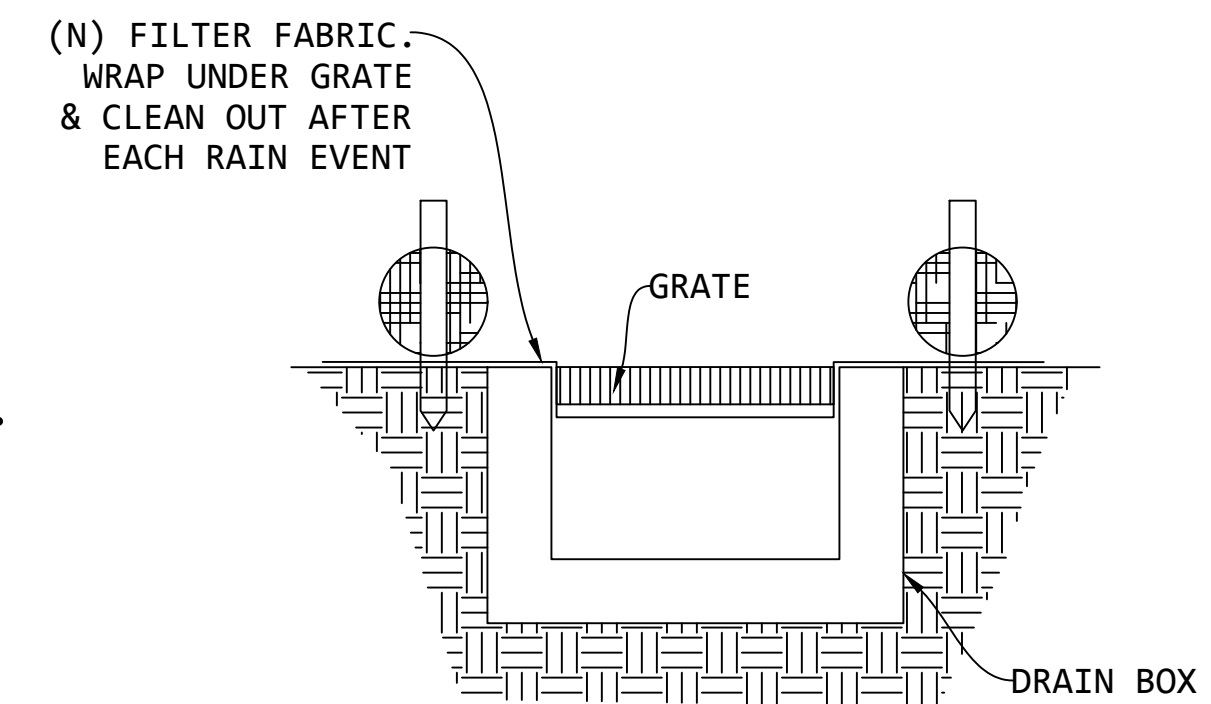
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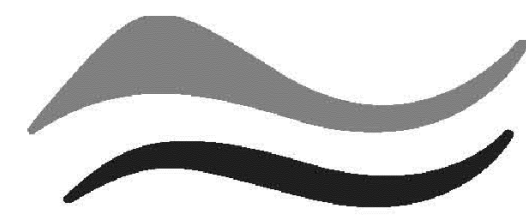


NOTES:

- 1) NO WORK STORAGE, EARTH MOVING, VEGETATION. REMOVAL OR OTHER DISTURBANCE SHALL BE DONE OUT SIDE "LIMIT OF WORK"
- 2) HAY BAYS ARE PROHIBITED FROM USE AS EROSION CONTROL
- 3) SAND BAGS ARE PROHIBITED FROM USE AS EROSION CONTROL USE PERMEABLE ROCK SACKS INSTEAD
- 4) EROSION CONTROL CONTACT PHONE NUMBER.....
- 5) PERFORM CLEARING AND EARTH MOVING ACTIVITIES ONLY DURING DRY WEATHER. MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED PRIOR TO EARTH MOVING ACTIVITIES AND CONSTRUCTION.
- 6) MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL ARE REQUIRED YEAR ROUND. STABILIZE ALL DENUDED AREAS AND MAINTAIN EROSION CONTROL MEASURE CONTINUOUSLY BETWEEN OCTOBER 1 AND APRIL 30.
- 7) STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER.
- 8) CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASH WATER OR SEDIMENTS, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.
- 9) USE SEDIMENT CONTROLS OR FILTRATION TO REMOVE SEDIMENT WHEN DEWATERING SITE AND OBTAIN REGIONAL WATER QUALITY CONTROL BOARD (RWQCB) PERMITS AS NECESSARY
- 10) AVOID CLEANING, FUELING, OR MAINTAINING VEHICLES ON SITE, EXCEPT IN A DESIGNATED AREA WHERE WASH WATER IS CONTAINED AND TREATED.
- 11) LIMIT AND TIME APPLICATIONS OF PESTICIDES AND FERTILIZERS TO PREVENT POLLUTED RUNOFF.
- 12) LIMIT CONSTRUCTION ACCESS ROUTES TO STABILIZED, DESIGNATED ACCESS POINTS.
- 13) AVOID TRACKING DIRT OR OTHER MATERIALS OFF SITE, CLEAN OFF SITE PAVED AREAS AND SIDEWALKS USING DRY SWEEPING METHODS.
- 14) TRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES AND SUBCONTRACTORS REGARDING THE WATERSHED PROTECTION MAINTENANCE STANDARDS AND CONSTRUCTION BEST MANAGEMENT PRACTICES.
- 15) PLACEMENT OF EROSION MATERIALS AT THESE LOCATIONS ARE REQUIRED ON WEEKEND AND DURING RAIN EVENTS.
- 16) CONSTRUCTION SITES ARE REQUIRED TO HAVE EROSION CONTROL MATERIALS ON SITE DURING THE OFF SEASON.
- 17) DUST CONTROL IS REQUIRED YEAR ROUND.
- 18) EROSION CONTROL MATERIALS SHALL BE STORED ON SITE.
- 19) USE OF PLASTIC SHEETING BETWEEN OCTOBER 1 AND APRIL 30 IS NOT ACCEPTABLE, UNLESS FOR USE ON STOCKPILES WHERE THE STOCKPILE IS ALSO PROTECTED WITH FIBER ROLLS CONTAINING THE BASE OF THE STOCKPILE.
- 20) TREE PROTECTION SHALL BE IN PLACE BEFORE ANY DEMOLITION, GRADING, EXCAVATING OR GRUBBING IS STARTED.

- STRAW WATTLES
- SILT FENCE
- LIMIT OF WORK
- TEMPORARY CONSTRUCTION FENCE





SAN MATEO COUNTYWIDE

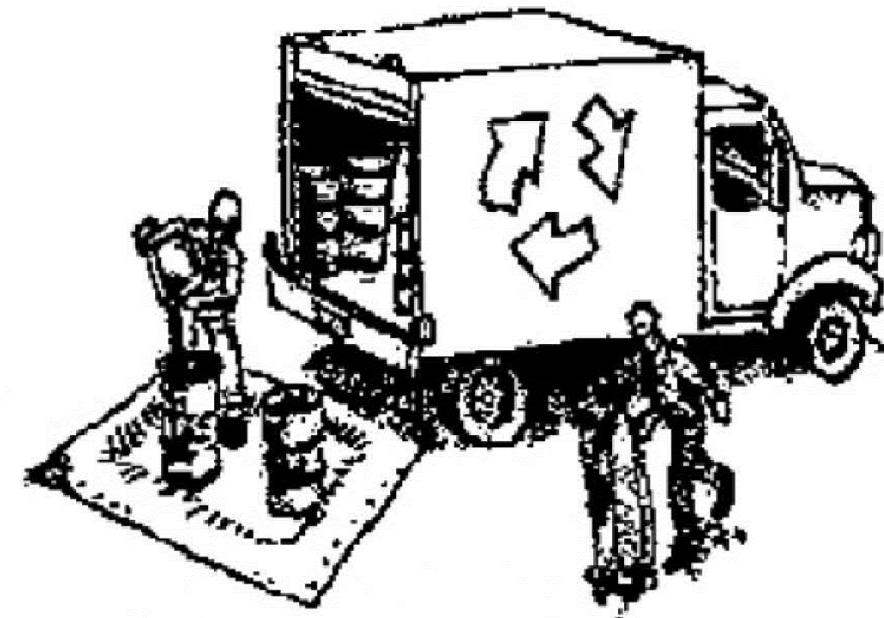
Water Pollution Prevention Program

Clean Water. Healthy Community.

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- ❑ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- ❑ Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- ❑ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ❑ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- ❑ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- ❑ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



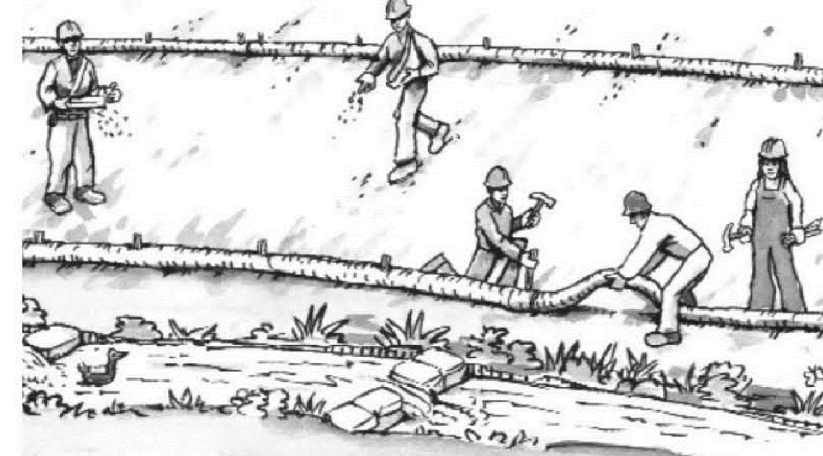
Maintenance and Parking

- ❑ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, steam cleaning equipment, etc.

Spill Prevention and Control

- ❑ Keep spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ❑ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up spills or leaks immediately and dispose of cleanup materials properly.
- ❑ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ❑ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ❑ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthwork & Contaminated Soils



Erosion Control

- ❑ Schedule grading and excavation work for dry weather only.
- ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.

Sediment Control

- ❑ Protect storm drain inlets, gutters, ditches, and drainage courses with appropriate BMPs, such as gravel bags, fiber rolls, berms, etc.
- ❑ Prevent sediment from migrating offsite by installing and maintaining sediment controls, such as fiber rolls, silt fences, or sediment basins.
- ❑ Keep excavated soil on the site where it will not collect into the street.
- ❑ Transfer excavated materials to dump trucks on the site, not in the street.
- ❑ Contaminated Soils
- ❑ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work

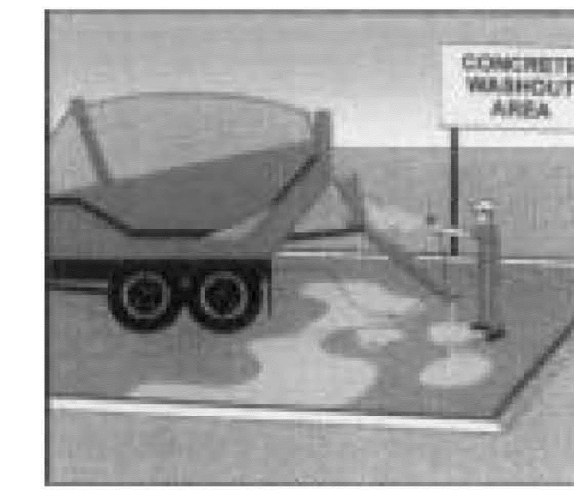


- ❑ Avoid paving and seal coating in wet weather, or when rain is forecast before fresh pavement will have time to cure.
- ❑ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ❑ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ❑ Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

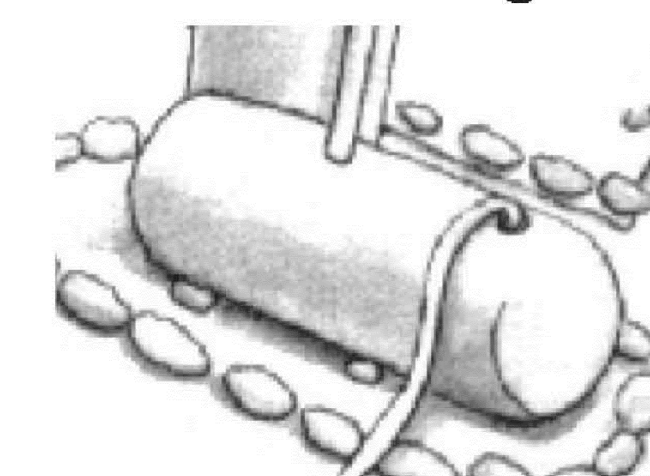
- ❑ Completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ❑ Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ❑ If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



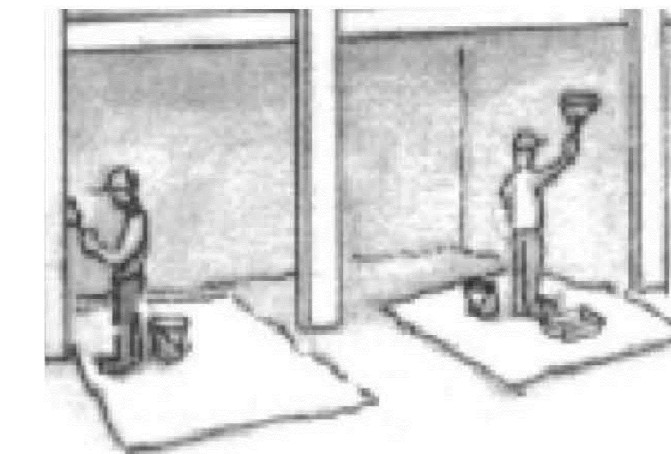
- ❑ Store concrete, grout and mortar under cover, on pallets and away from drainage areas. These materials must never reach a storm drain.
- ❑ Wash out concrete equipment/trucks offsite or in a contained area, so there is no discharge into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ❑ Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal offsite.

Dewatering



- ❑ Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site. Divert run-on water from offsite away from all disturbed areas or otherwise ensure compliance.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ❑ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer to determine whether testing is required and how to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.

Painting & Paint Removal



Painting cleanup

- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or surface waters.
- ❑ For water-based paints, paint out brushes to the extent possible. Rinse to the sanitary sewer once you have gained permission from the local wastewater treatment authority. Never pour paint down a drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of residue and unusable thinner/solvents as hazardous waste.

Paint removal

- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead or tributyltin must be disposed of as hazardous waste.
- ❑ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.

Landscape Materials



- ❑ Contain stockpiled landscaping materials by storing them under tarps when they are not actively being used.
- ❑ Stack erodible landscape material on pallets. Cover or store these materials when they are not actively being used or applied.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

Storm drain polluters may be liable for fines of up to \$10,000 per day!

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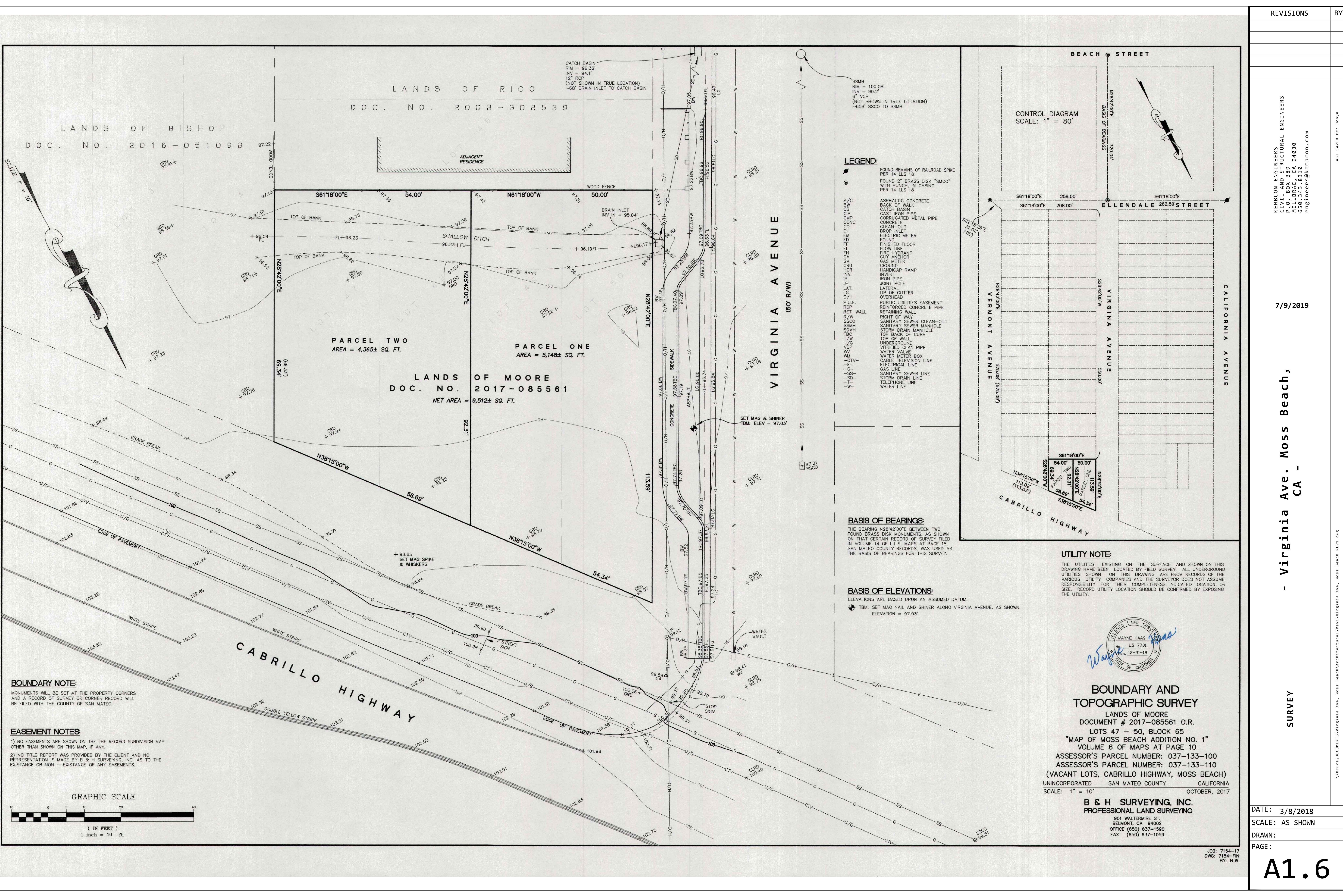
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SURVEY

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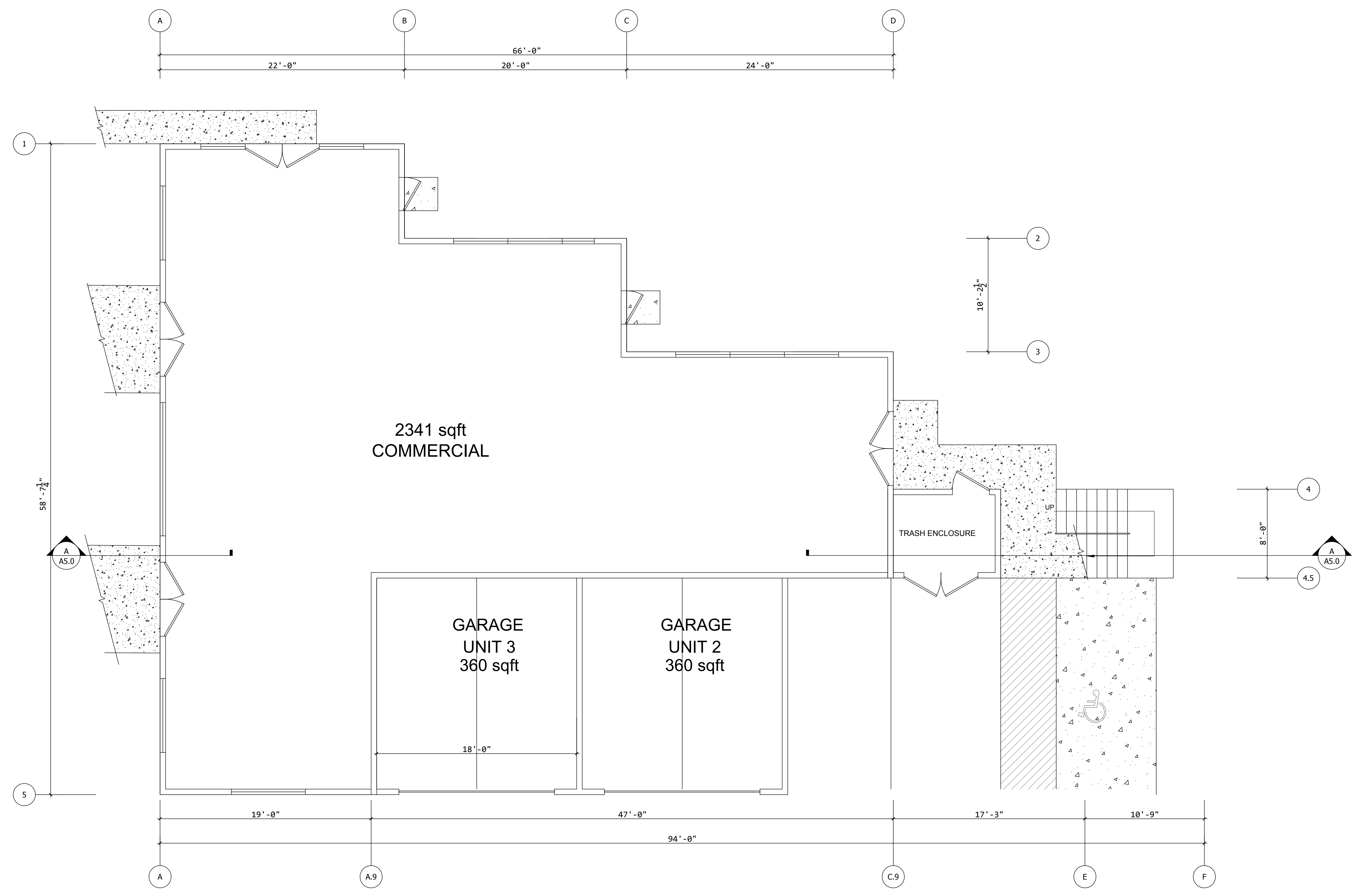
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FIRST FLOOR PLAN

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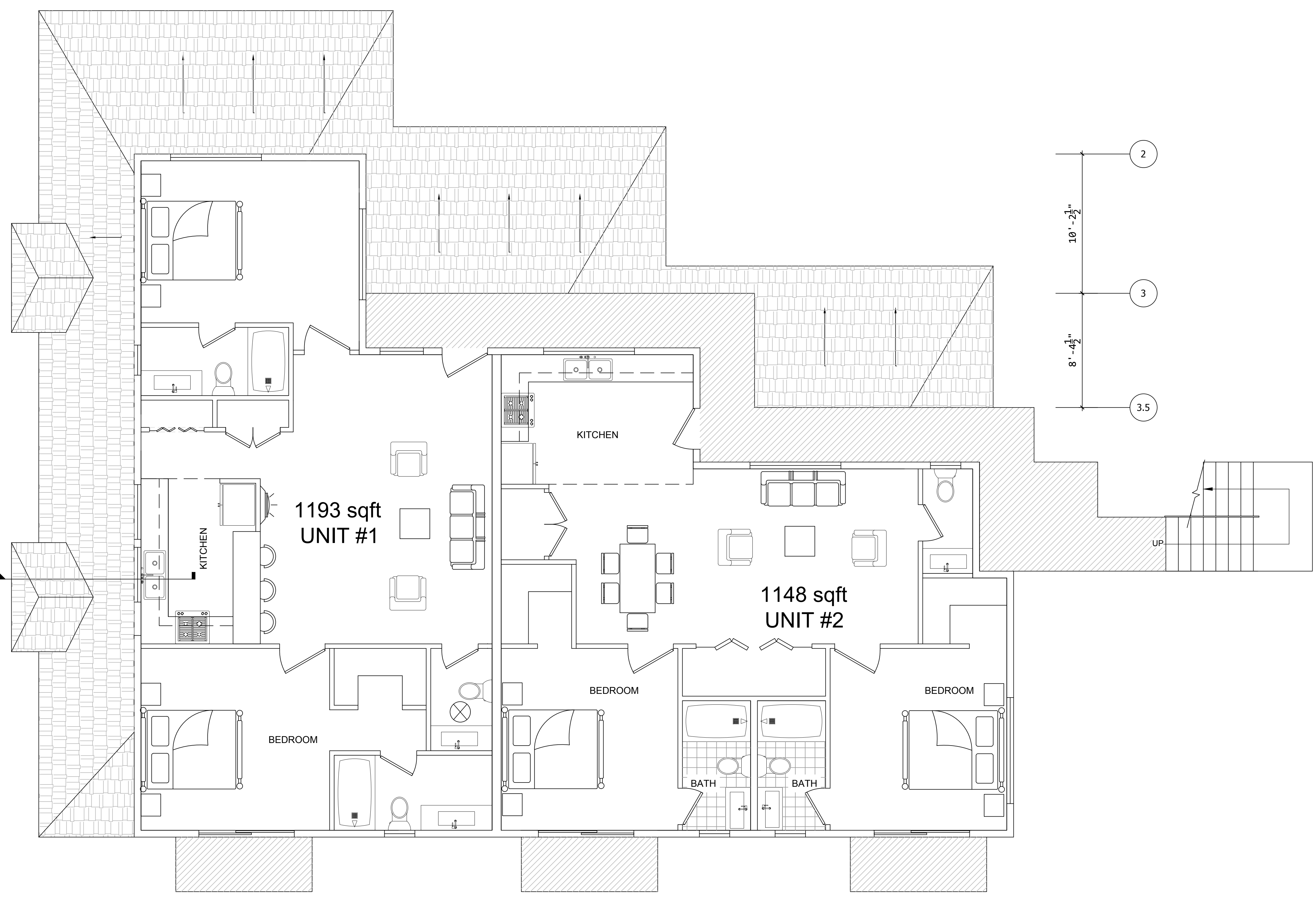
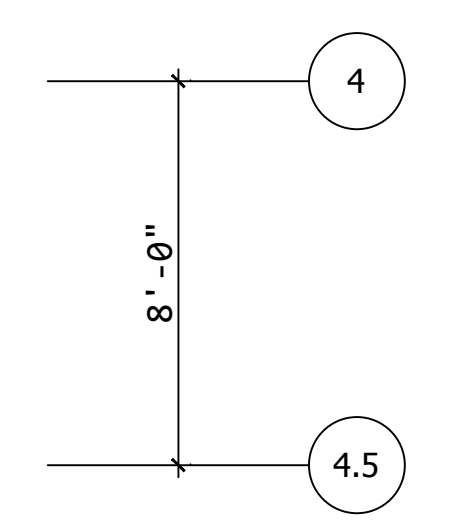
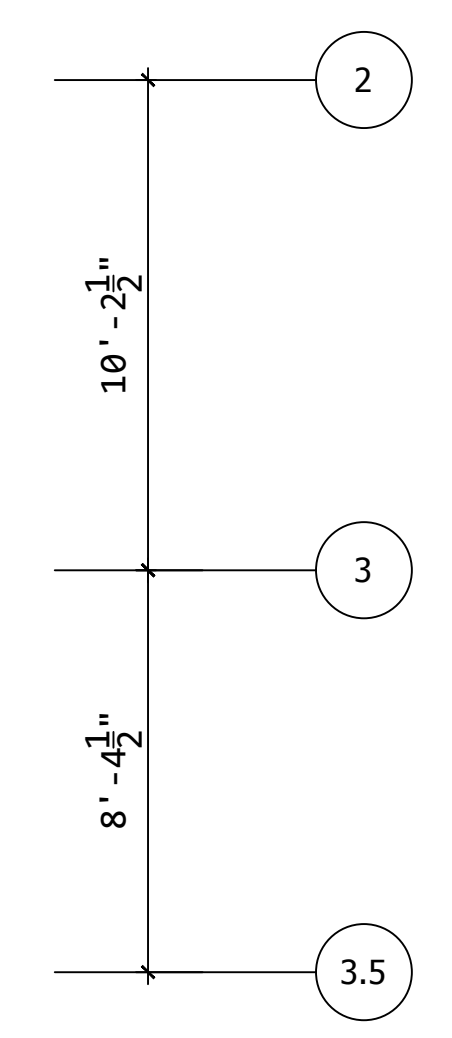
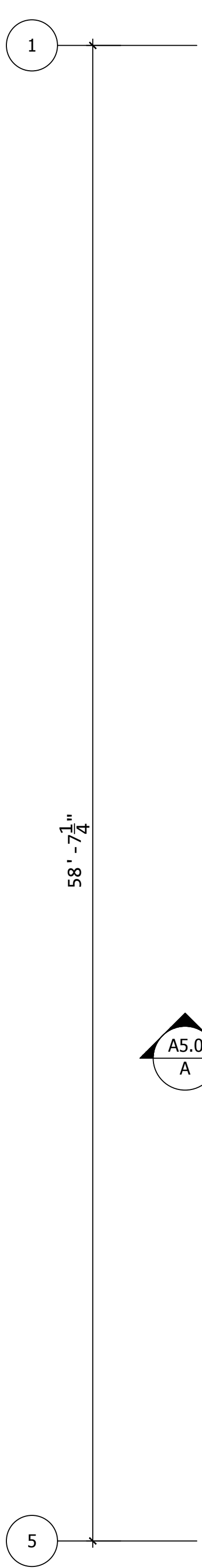
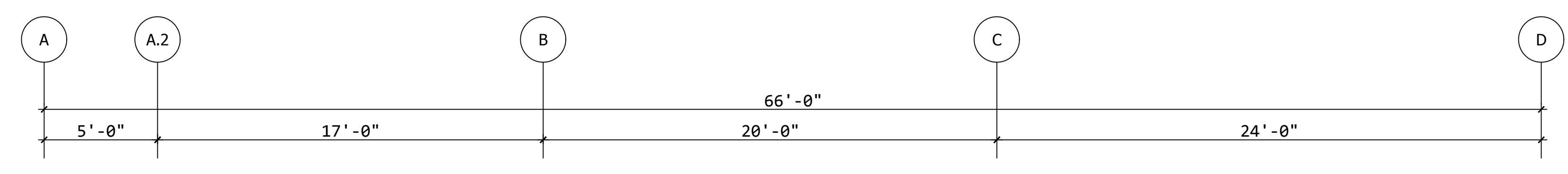


1 PROPOSED FIRST FLOOR PLAN

Scale: 1/4" = 1'-0"

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1 PROPOSED SECOND FLOOR PLAN

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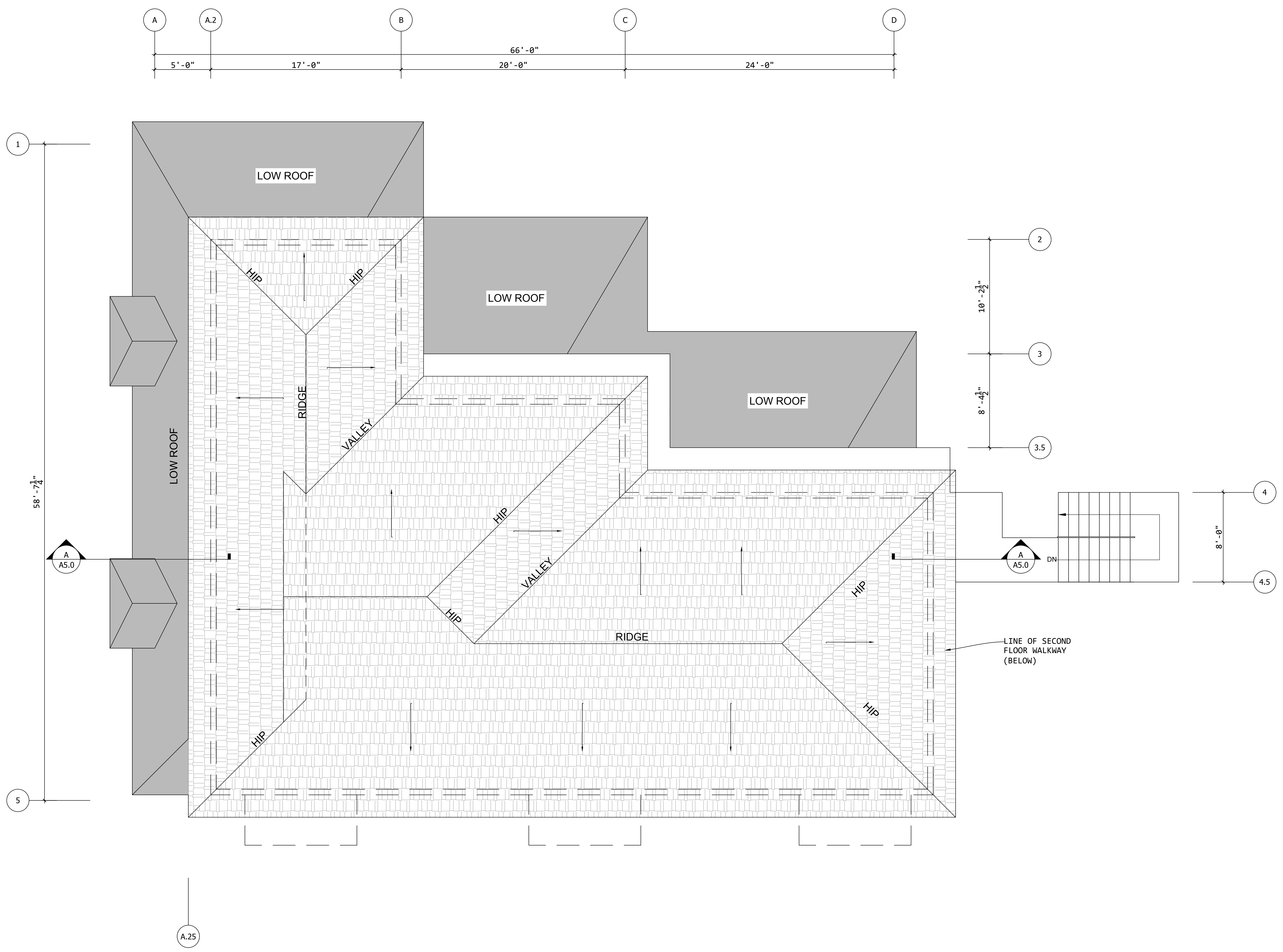
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ROOF PLAN

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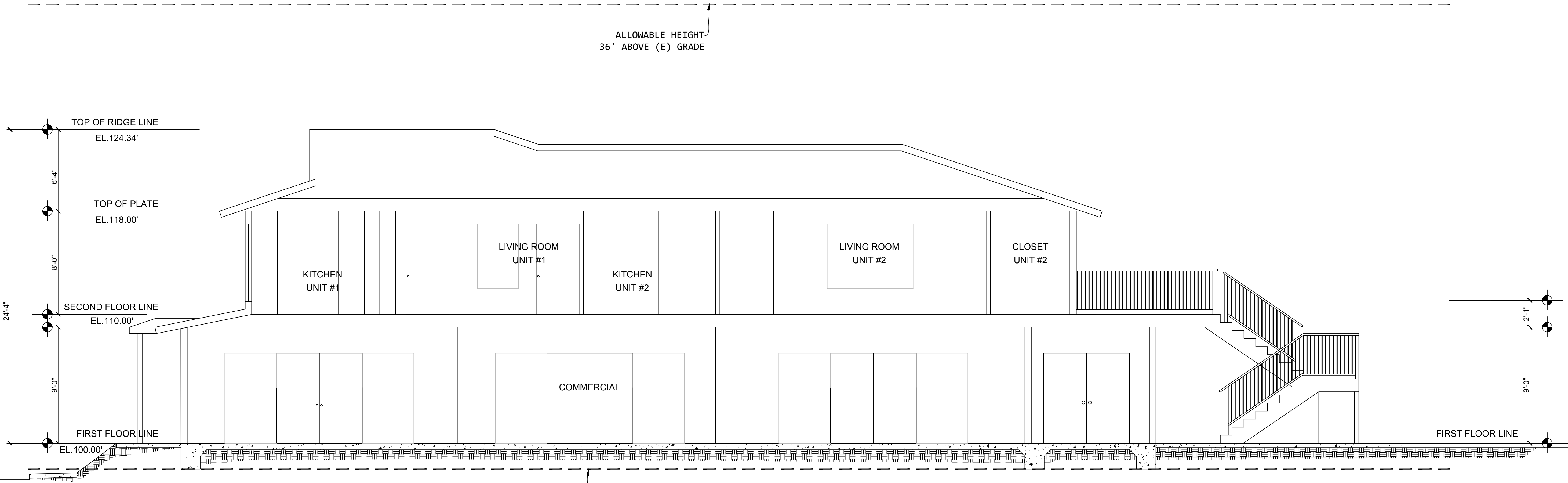


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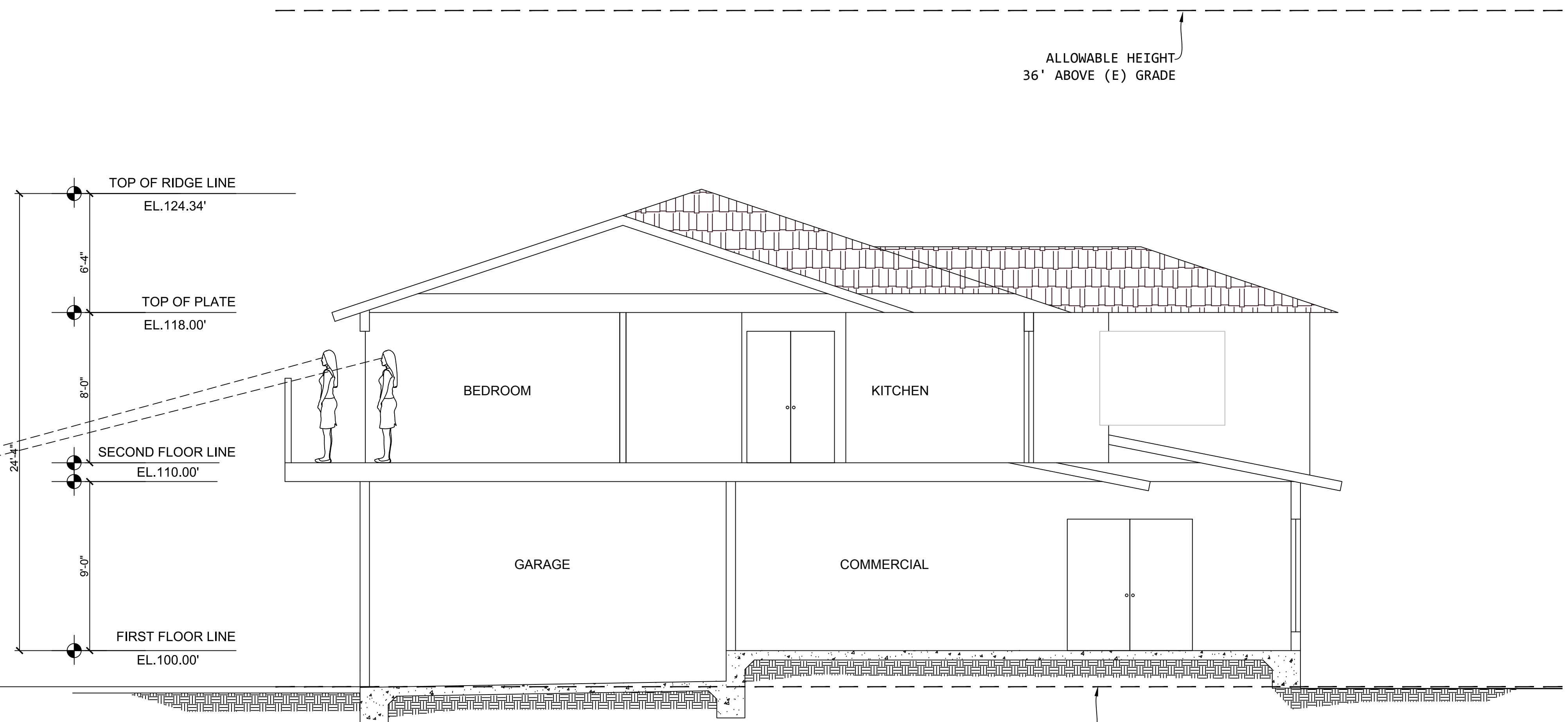
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1 PROPOSED SECTION A - A



2 PROPOSED SECTION B - B

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SECTIONS

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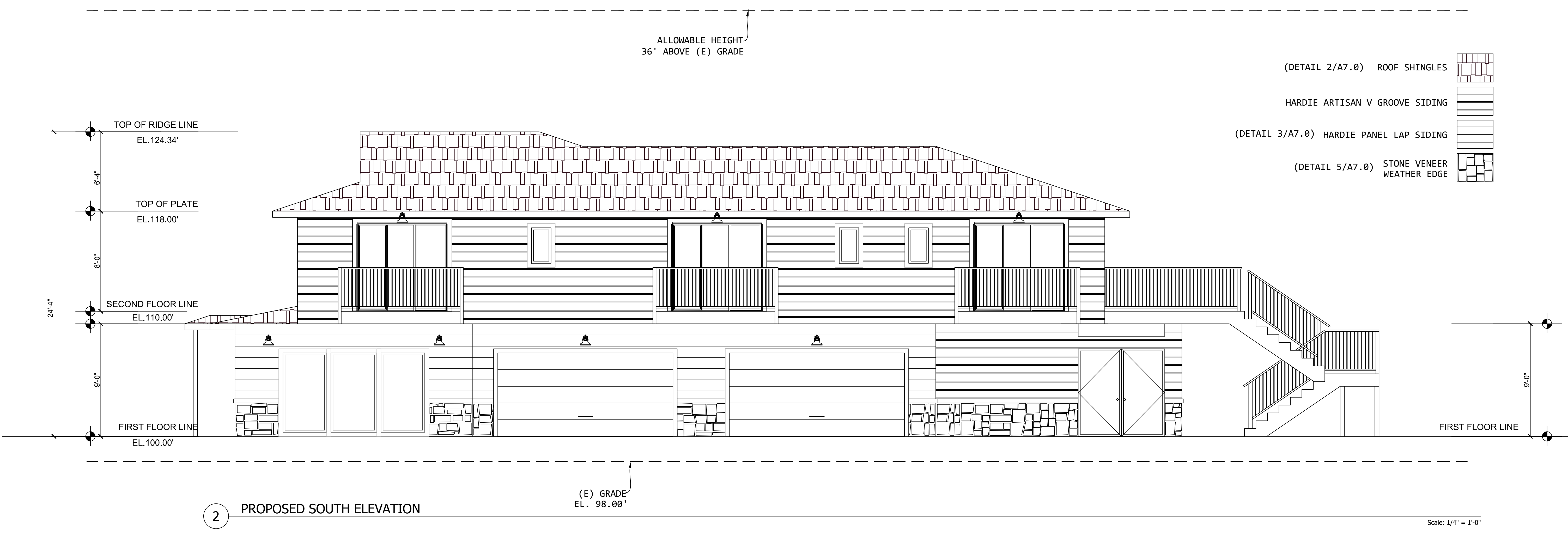
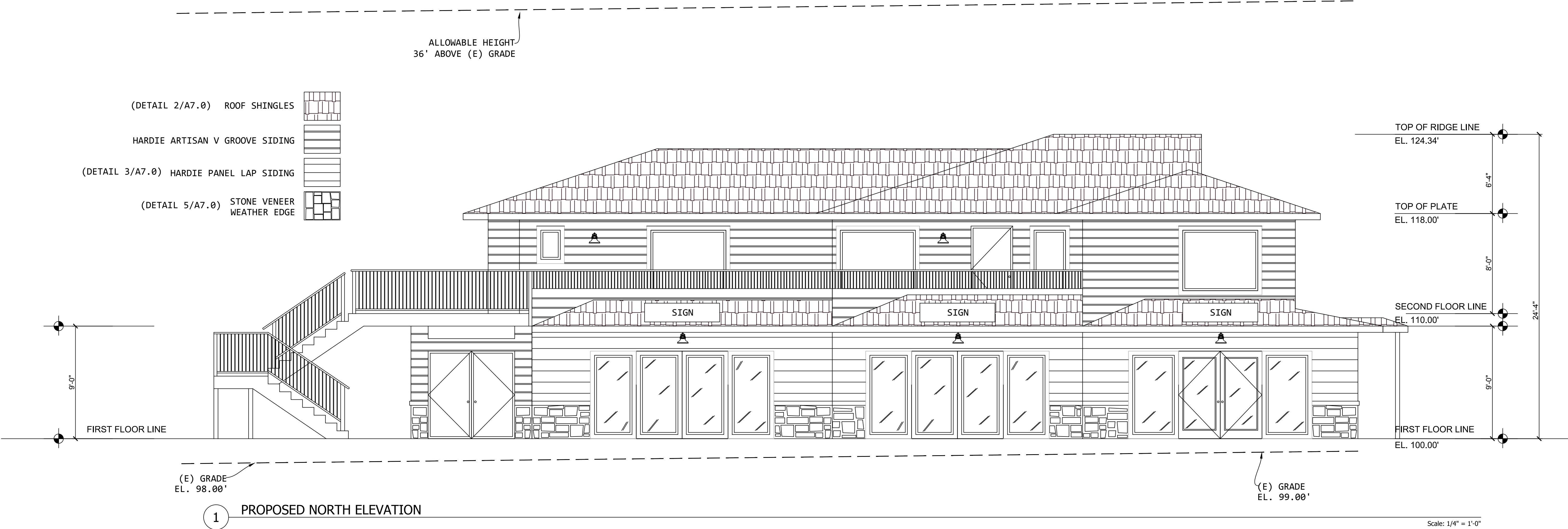
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ELEVATIONS

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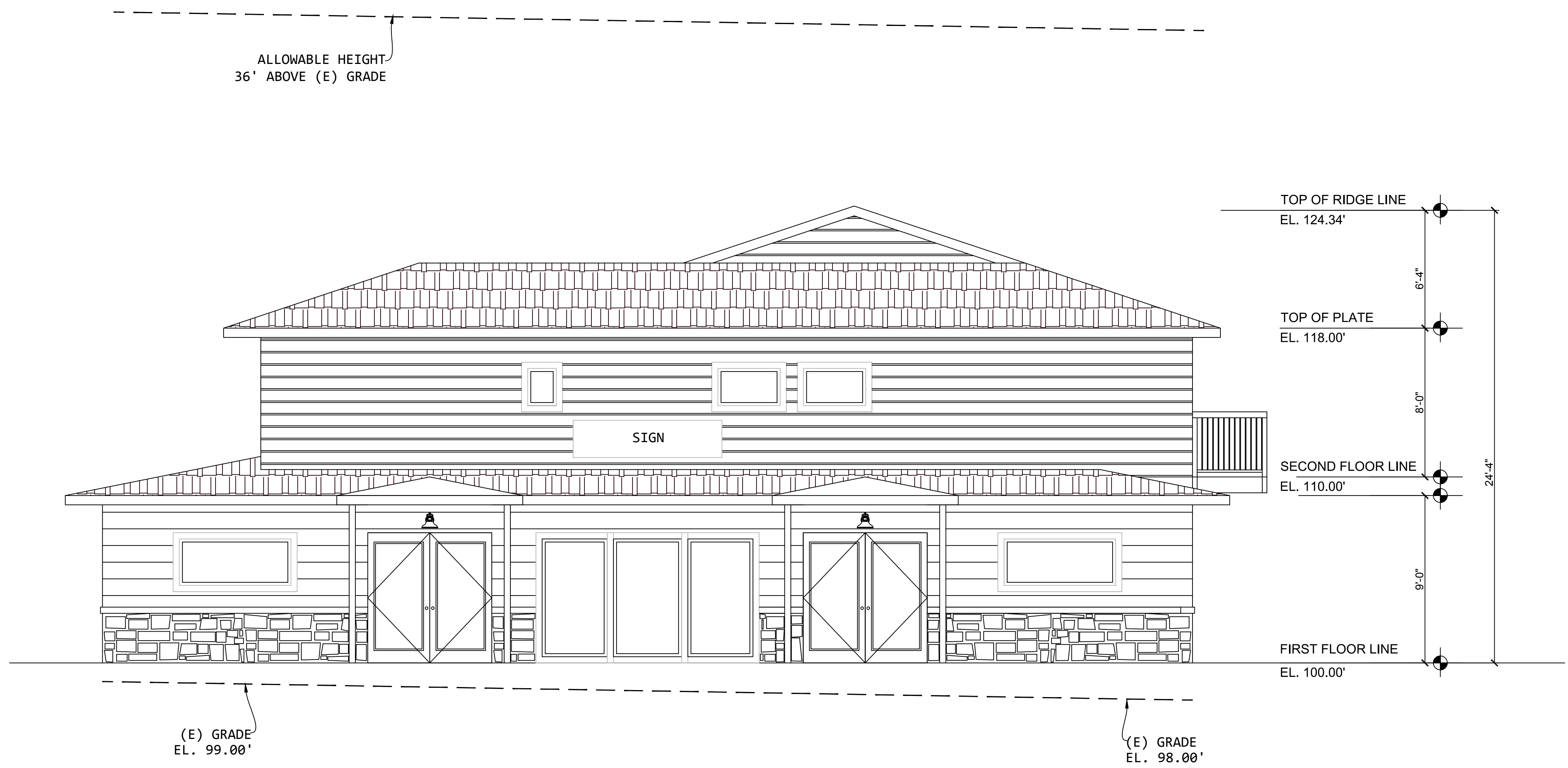
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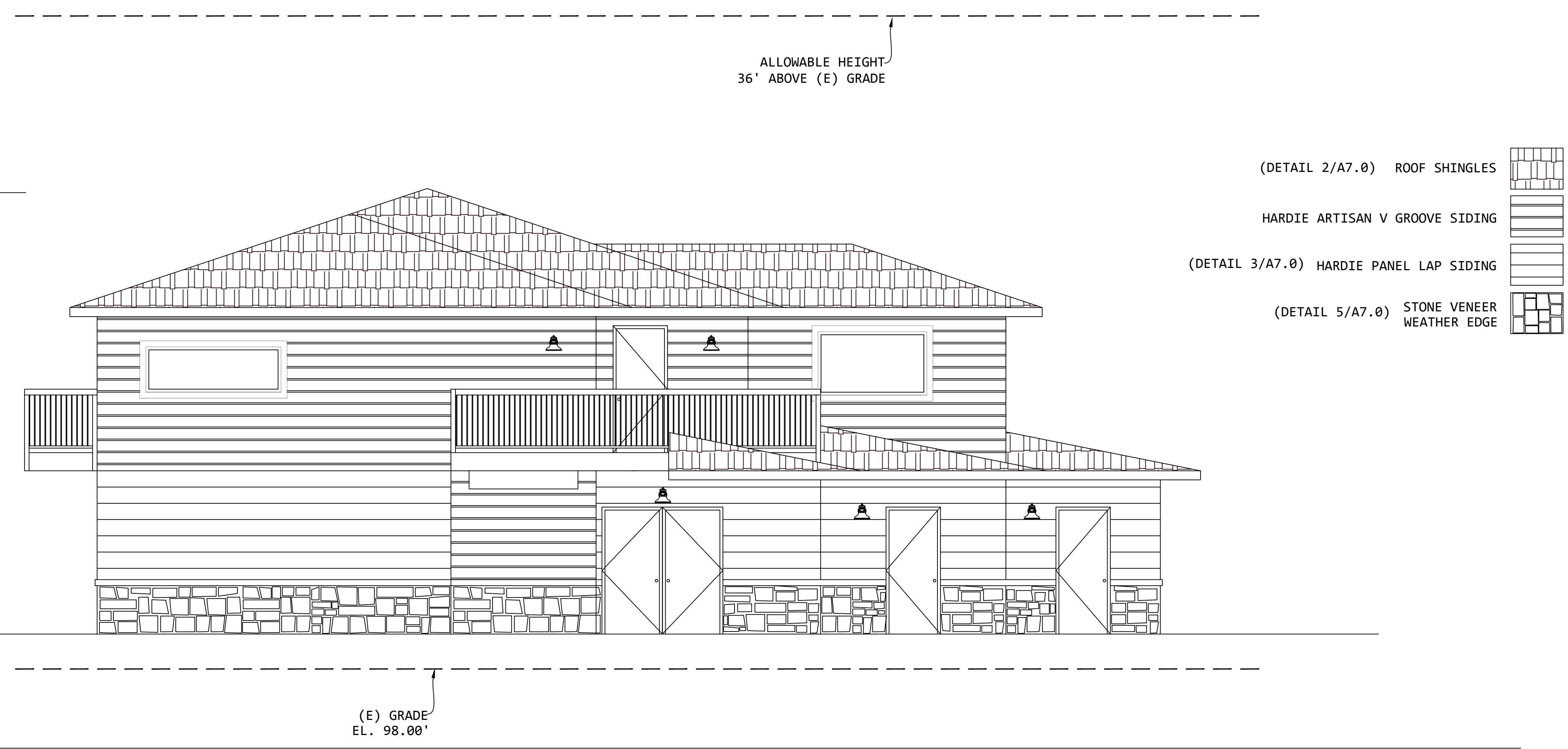
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1 PROPOSED WEST ELEVATION

Scale: 1/4" = 1'-0"



2 PROPOSED EAST ELEVATION

Scale: 1/4" = 1'-0"

- (DETAIL 2/A7.0) ROOF SHINGLES
- HARDIE ARTISAN V GROOVE SIDING
- (DETAIL 3/A7.0) HARDIE PANEL LAP SIDING
- (DETAIL 5/A7.0) STONE VENEER WEATHER EDGE

- (DETAIL 2/A7.0) ROOF SHINGLES
- HARDIE ARTISAN V GROOVE SIDING
- (DETAIL 3/A7.0) HARDIE PANEL LAP SIDING
- (DETAIL 5/A7.0) STONE VENEER WEATHER EDGE



COLORED FRONT ELEVATION

COLOR & MATERIALS BOARD
1

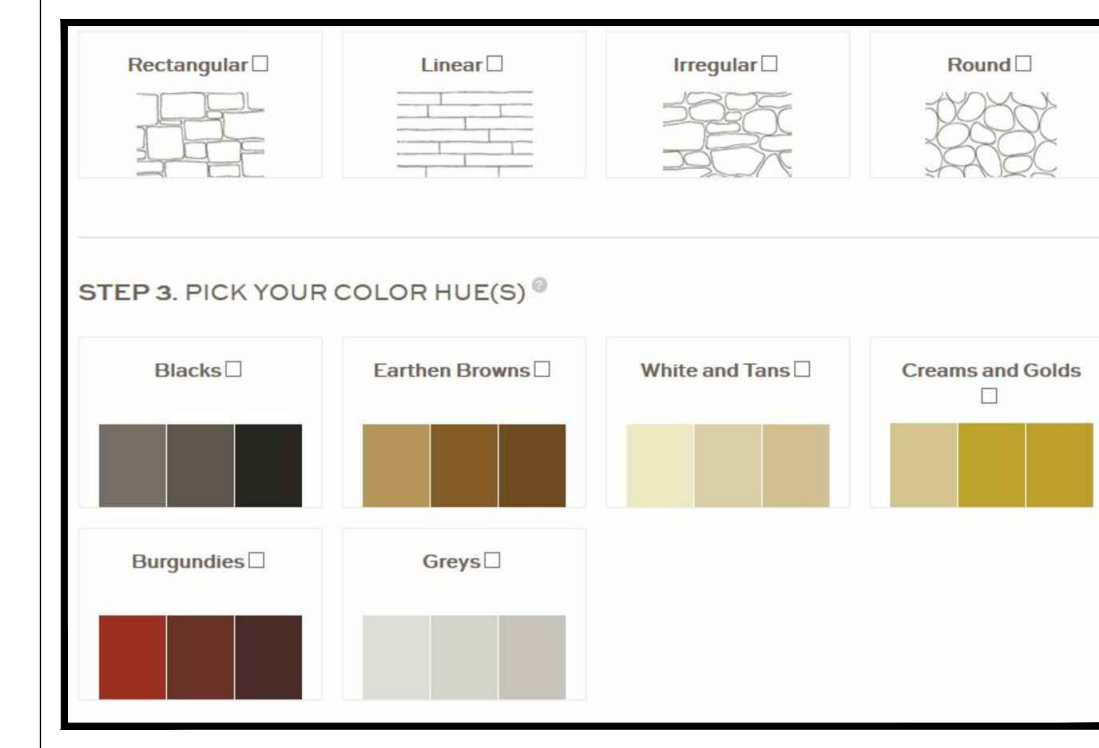
PROJECT:
MULTI-USE BUILDING
VIRGINIA AVENUE, MOSS BEACH

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ROOF SHINGLES

COLOR & MATERIALS BOARD
2



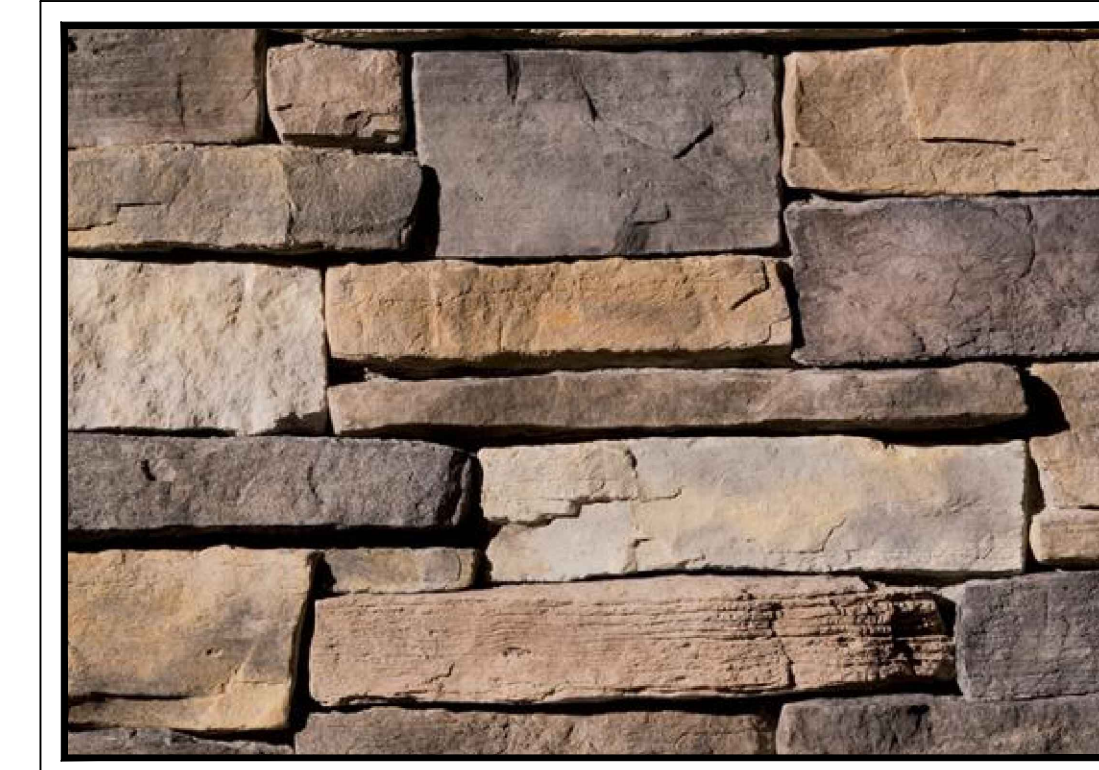
EL DORADO ARCHITECTURAL STONE VENEER

COLOR & MATERIALS BOARD
4



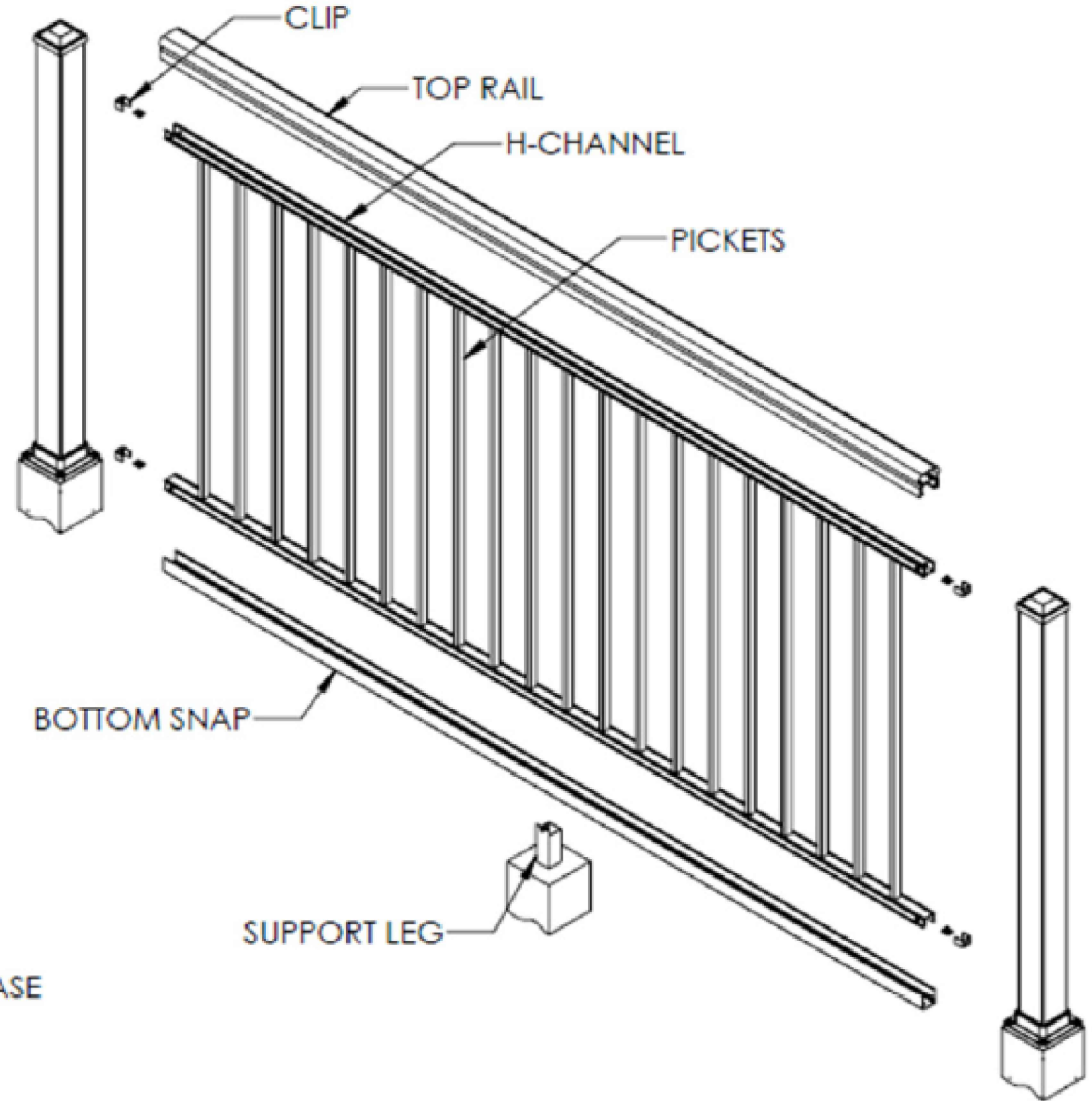
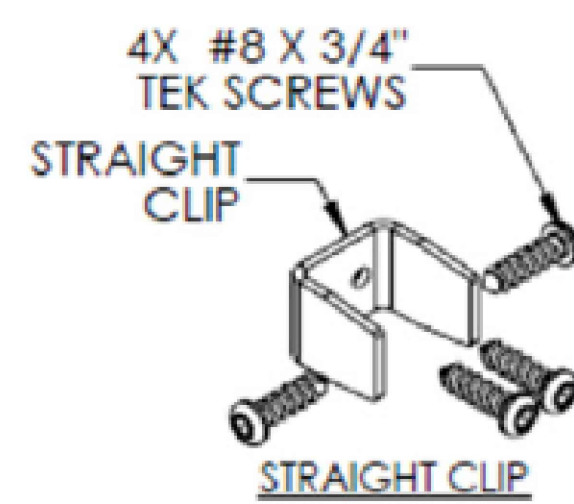
HARDIEPLANK LAP SIDING

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3



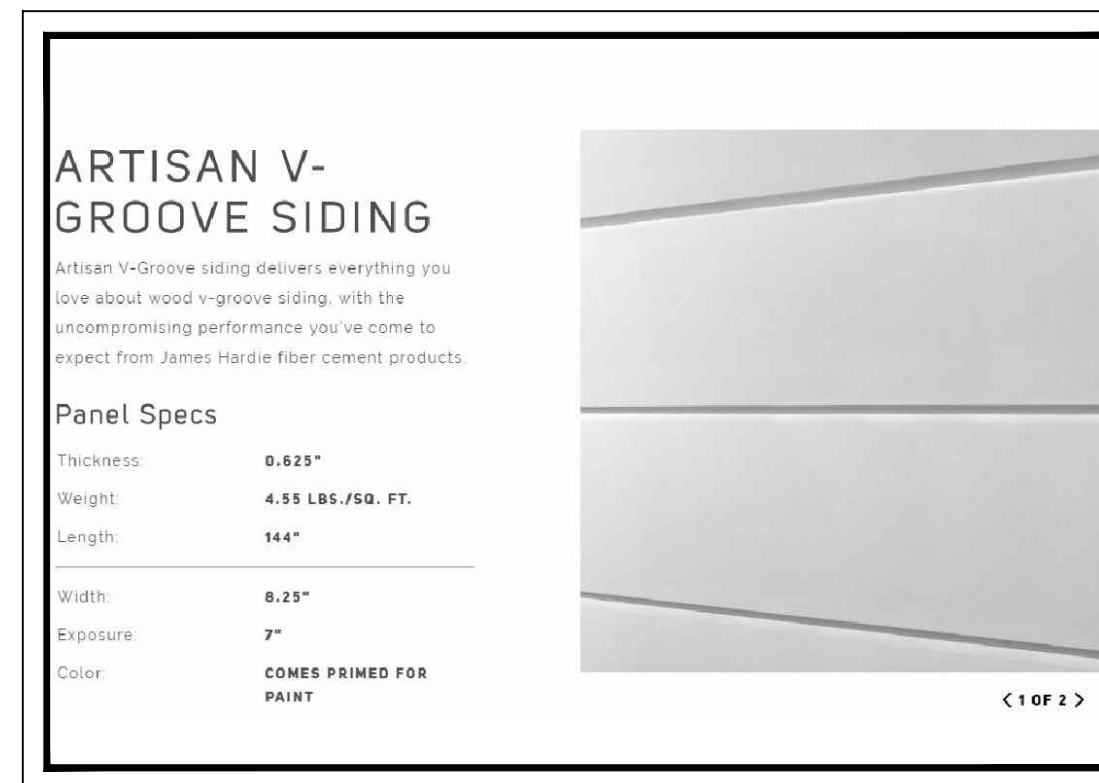
EL DORADO ARCHITECTURAL STONE VENEER WEATHER EDGE

COLOR & MATERIALS BOARD
5



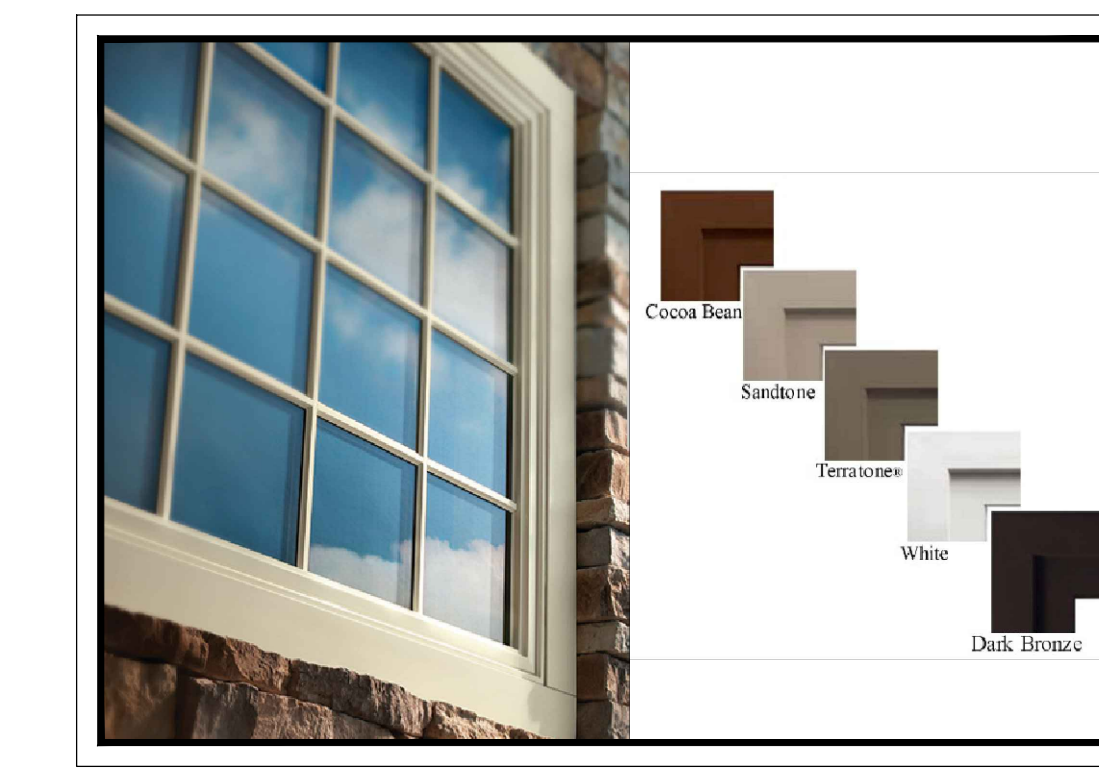
POST ASSEMBLY
DETAIL

ALUMINUM RAILING



ARTISAN V GROOVE SIDING

COLOR & MATERIALS BOARD
8



ANDERSEN WINDOW & DOORS
SERIES 100

COLOR & MATERIALS BOARD
6

LIGHTING SPECIFICATION

| Dimensions | | | |
|--------------------------------|--------------------------|---------------------------|----------------------------|
| Product Depth (in.) | 10.5 | Product Width (in.) | 10.38 |
| Product Height (in.) | 9.88 | | |
| Details | | | |
| Actual Color Temperature (K) | 3000 | Lumens | 880 |
| Color Rendering Index (CRI) | 80 | Number of Lights | 1 Light |
| Color Temperature | Bright White | Outdoor Lighting Features | Dark Sky/Weather Resistant |
| Compatible Bulb Type | LED | Package Quantity | 1 |
| Exterior Lighting Product Type | Outdoor Scones | Power Type | Hardwired |
| Fixture Color/Finish | Oil-Rubbed Bronze | Product Size | Medium |
| Fixture Material | Aluminum | Product Weight (lb.) | 1.39lb |
| Glass/Lens Type | No Glass/Lens | Returnable | 90-Day |
| Included | Hardware Included | Sconce Type | Barn Light |
| Light Bulb Type Included | Integrated LED | Voltage Type | Line Voltage |
| Light Direction | Down | Watt Equivalence | 80 |
| Warranty / Certifications | | | |
| Certifications and Listings | 1-UL Listed, Energy Star | Manufacturer Warranty | 5 year limited warranty |



LOW WATTAGE WALL
HANG LIGHTS

COLOR & MATERIALS BOARD
7

REVISIONS

BY

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EXTERIOR FINISHES

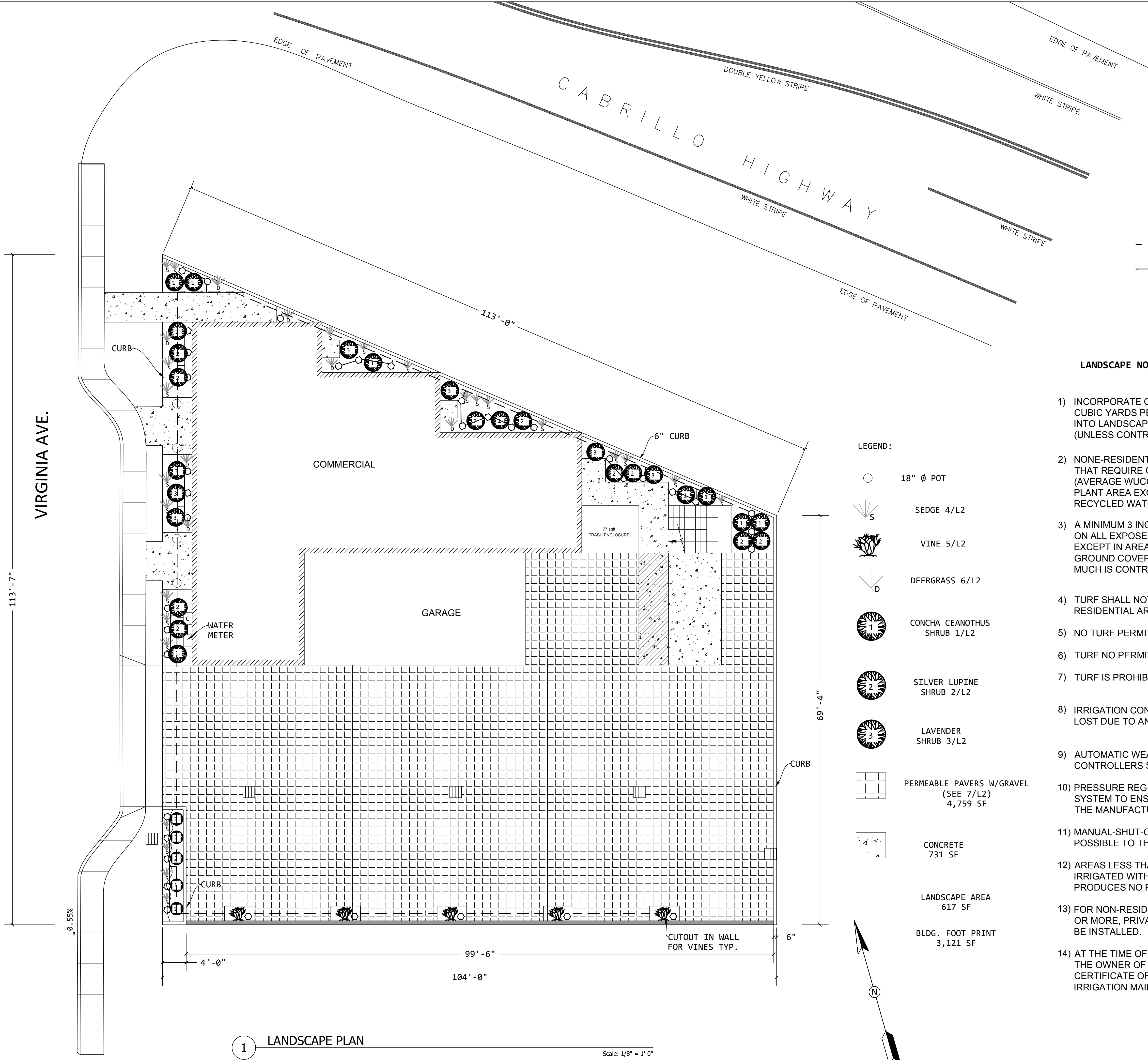
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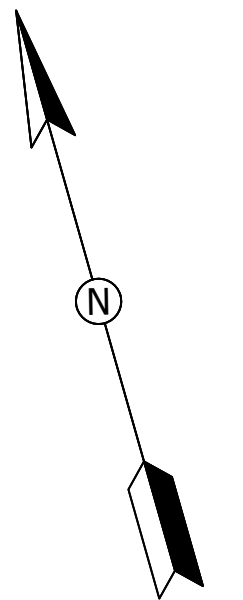
IRRIGATION LEGEND:

- MAIN IRRIGATION LINE
- LATERAL IRRIGATION LINE
- SUBSURFACE IRRIGATION EMITTER

LANDSCAPE NOTES:

- 1) INCORPORATE COMPOST AT A RATE OF AT LEAST FOUR (4) CUBIC YARDS PER 1,000 SQFT TO A DEPTH OF 6 INCHES INTO LANDSCAPE AREA (UNLESS CONTRA-INDICATED BY A SOIL TEST).
- 2) NONE-RESIDENTIAL: INSTALL CLIMATE ADAPTED PLANTS THAT REQUIRE OCCASIONAL, LITTLE OR NO SUMMER WATER (AVERAGE WUCOLS PLANT FACTOR 0.3) FOR 100% OF THE PLANT AREA EXCLUDING EDIBLES AND AREAS USING RECYCLED WATER.
- 3) A MINIMUM 3 INCH LAYER OF MULCH SHOULD BE APPLIED ON ALL EXPOSED SOIL SURFACE OF PLANTING AREAS, EXCEPT IN AREAS OF TURF OR CREEPING OR ROOTING GROUND COVERS OR DIRECT SEEDING APPLICATIONS WHERE MUCH IS CONTRAINDICATED
- 4) TURF SHALL NOT EXCEED 25% OF THE LANDSCAPE AREA IN RESIDENTIAL AREAS.
- 5) NO TURF PERMITTED IN NON-RESIDENTIAL AREAS.
- 6) TURF NO PERMITTED ON SLOPES GREATER THAN 25%.
- 7) TURF IS PROHIBITED IN PARKWAYS LESS THAN 10 FEET WIDE.
- 8) IRRIGATION CONTROLLER PROGRAMMING DATA WILL NOT BE LOST DUE TO AN INTERRUPTION IN THE PRIMARY POWER SOURCE.
- 9) AUTOMATIC WEATHER-BASED OR SOIL-MOISTURE BASED IRRIGATION CONTROLLERS SHALL BE INSTALLED ON THE IRRIGATION SYSTEM.
- 10) PRESSURE REGULATORS SHALL BE INSTALLED ON THE IRRIGATION SYSTEM TO ENSURE DYNAMIC PRESSURE OF THE SYSTEM IS WITHIN THE MANUFACTURER'S RECOMMENDED PRESSURE RANGE.
- 11) MANUAL-SHUT-OFF VALVES SHALL BE INSTALLED AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION OF THE WATER SUPPLY.
- 12) AREAS LESS THAN 10-FEET IN WIDTH IN ANY DIRECTION SHALL BE IRRIGATED WITH SUBSURFACE IRRIGATION OR OTHER MEANS THAT PRODUCES NO RUNOFF OR OVERSPRAY.
- 13) FOR NON-RESIDENTIAL PROJECTS WITH LANDSCAPE AREAS OF 1,000SQFT OR MORE, PRIVATE SUBMETER TO MEASURE LANDSCAPE WATER USE SHALL BE INSTALLED.
- 14) AT THE TIME OF FINAL INSPECTION, THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.

- LEGEND:**
- 18" Ø POT
 - S SEDGE 4/L2
 - V VINE 5/L2
 - D DEERGRASS 6/L2
 - 1 CONCHA CEANOTHUS SHRUB 1/L2
 - 2 SILVER LUPINE SHRUB 2/L2
 - 3 LAVENDER SHRUB 3/L2
 - PERMEABLE PAVERS W/GRAVEL (SEE 7/L2) 4,759 SF
 - CONCRETE 731 SF
 - LANDSCAPE AREA 617 SF
 - BLDG. FOOT PRINT 3,121 SF



1 LANDSCAPE PLAN
 Scale: 1/8" = 1'-0"

Concha Ceanothus
Ceanothus 'Concha'

About Concha Ceanothus (Ceanothus 'Concha')
One of the most and most spectacular of the Ceanothus cultivars. It's like a hybrid of *Ceanothus leucanthus* and *Ceanothus velutinus* var. *rostratus*, both of which are native to the coastal coast area. This plant is often short-lived when grown outside the coastal coast.

The plant grows quickly, and particular in its third or fourth years, will often produce an amazing display of blue flowers. Flower production often tapers off quickly after that.

Plant Description
 Plant Type: Shrub
 Max. Height: 3 - 6 ft (0.9 - 1.8 m)
 Max. Width: 3 - 6 ft (0.9 - 1.8 m)
 Form: Mounding, Rounded
 Fragrance: Slight
 Growth Rate: Fast
 Dormancy: Evergreen
 Leaves: Green shiny leaves
 Flower Color: Blue
 Flowering Season: Spring Summer Fall Winter
 Native Status: Native

Site Characteristics
 Summary: Cultivar; no natural observations of this plant.
 Sun: Full shade, Part Shade
 Soil PH: 5 - 8
 Drainage: Fall, Medium
 Cold Tolerance (F): Tolerates cold to 10° - 20° F
 Wildlife Attracted: Plants in the Ceanothus genus are host plants to the Spring Azalea, Echo Blue, Paeonius Dufourii, California Tortoiseshell, Pale Swallowtail, and Hedgehog Hairstreak butterflies.

Landscaping Information
 Popularity: Very Popular
 Max. Summer Water?: No Summer Water 1/month 2/month 3/month 1/week Keep most
 Mulch: Organic with Rocks
 Pruning: Pruning by cuttings
 Common uses: Butterfly Gardens
 Nursery Availability: Commonly Available
 Nurseries (SEE MAP): Adams Nursery, Bay Natives, Betroot Nursery, Buckeye Nursery, East Bay Wilds, Elkhorn Native Plant Nursery, Fremont Horticultural Inc., Grove Native Nursery, Claremont (RS&B), Las Flores, La Restoracion Nursery, Maricopa Nursery, Matilla Nursery, Modesto Nurseries Inc., Mossa Creek Nursery, North Native Nursery, Natives Here Nursery, Rancho Santa Ana Botanic Garden, Rancho Santa Ana Botanic Garden, San Marcos Conservatory, Succulent Nurseries, Inc., The Growing Grounds Farm, The Watershed Nursery, Theodore Payne Foundation, UC Botanical Garden California Native Plants Nursery, Verba Buena Nursery

Other Names
 Common Names: Concha California Mountain Lilac

1 CONCHA CEANOTHUS SHRUB

California Grape
Vitis californica

About California Grape (Vitis californica)
Wild California or California Wild Grape. It is a species of wild grape that grows throughout central and northern California, and occasionally in southern California. Specifically, it grows as far south as the foothills of the Transverse Range, over the entire range of Sequoia and Cascade Foothills, occasionally in the San Joaquin Valley, and throughout the Sacramento Valley, North Coast Range and Klamath Range, and into western Oregon. It is a deciduous vine which can grow to over 10 meters (30 feet) in length. It climbs on other plants or covers the ground with twisted, woody stems of one covered in green leaves. In the fall the leaves turn many shades of orange and yellow, and bunches of small and often sour but edible purple grapes hang from the vines. It is a common sight along the banks of the Sacramento River. The California wild grape grows along streams and rivers and thrives in damp areas, however. It is one of the native California plants that can withstand periods of dry conditions. The grapes provide an important food source for a variety of wild animals, especially birds, and the grape provides this cover. Bees love the flowers, and it is one of the best plants for butterflies to feed on.

California Wild Grape is extremely fast growing and easy to grow. It's easy to train into an arbor, or windbreak along a fence, or pretty much any shape you want. If it has nowhere to climb, it makes a nice, though winter deciduous, groundcover.

Though this plant naturally grows in moister areas, it is surprisingly drought tolerant once established. It puts down deep roots and in most of its native range needs little or no supplemental irrigation once it is established, though it will tolerate as much irrigation as you want to give it. More water means it larger and tamer (not necessarily a good thing). It prefers to have its leaves in full sun, and will stretch up through the trees to get 8-12 hours of sun.

The downside of this plant is that it can be extremely aggressive, and may require continuous pruning to keep under control. While it can be invasive, it's easy to pull out. Also, it is winter deciduous, and its abundant seed leaves can be a problem in a tidy garden.

Plant Description
 Plant Type: Shrub, Vine
 Max. Height: 10 - 40 ft (3 - 12.2 m)
 Max. Width: 18 ft (3 m)
 Form: Upright, Climber
 Fragrance: None, Slight
 Growth Rate: Fast
 Dormancy: Winter Deciduous
 Leaves: Large, bright green, rounded
 Flower Color: Cream, Green, Yellow
 Flowering Season: Spring Summer Fall Winter
 Native Status: Native

Landscaping Information
 Ease of Care: Very Easy
 Water Requirement?: Extremely Low Very Low Low Moderate High
 Popularity: Moderately Popular
 Max. Summer Water?: No Summer Water 1/month 2/month 3/month 1/week Keep most
 Mulch: Organic with Rocks
 Pruning: Can be cut back in fall if it becomes unruly
 Propagation: For propagating by seed: No treatment
 Common uses: Groundcovers, Deer Resistant
 Nursery Availability: Commonly Available
 Nurseries (SEE MAP): Adams Nursery, Anderson Valley Resource Conservation Nursery, Adelman Nursery, Bay Natives, Buckeye Nursery, Cactus Mart, California Flora Nursery, Cactus Growers, Inc., Eckerly Nursery, Native Plant Nursery, Rancho Santa Ana Botanic Garden, Rancho Santa Ana Botanic Garden, San Marcos Conservatory, Succulent Nurseries, Inc., The Growing Grounds Farm, The Watershed Nursery, Theodore Payne Foundation, UC Botanical Garden California Native Plants Nursery, Verba Buena Nursery

Other Names
 Common Names: California Wild Grape

5 VINE SHRUB

Silver Lupine
Lupinus albusfrons
Silver Bush Lupine

About Silver Lupine (Lupinus albusfrons)
Silver lupine, white-leaf bush lupine, or evergreen lupine, is a perennial species native to California, Oregon, and northern Baja. It grows along the coast, foothills of the Sierras and into the mountains, in dry and open meadows, prairies and forest clearings. It is a member of several plant communities, including coastal sage scrub, chaparral, northern coastal scrub, foothill woodlands, and yellow pine forest. It is a perennial shrub, taking up about 2 feet of space and reaching 5 feet. It has a light blue to violet flower on 3-12 inch (7.5-30 centimeter) stalks. The leaves are silver with a leathery texture. There are four recognized varieties in California that are found in different parts of the state and having some differences in habit and requirements.

It prefers full sun with good drainage and illias sandy or rocky soils that are dry, but will tolerate some moisture. If conditions are right it will be long-lived.

Plant Description
 Plant Type: Shrub
 Height: 5 Feet (1.5 Mts)
 Width: 5 Feet (1.5 Mts)
 Form: Mounding, Spreading
 Fragrance: Mounding, Spreading
 Growth Rate: Fast
 Dormancy: Evergreen
 Leaves: Green shiny leaves
 Flower Color: Blue, Lavender, Purple
 Flowering Season: Spring Summer Fall Winter
 Native Status: Native

Site Characteristics
 Natural Setting: Because this species occurs in such diverse parts of the state, it may be found in a number of settings and habitats including chaparral or coastal sage scrub in seaside conditions on coastal terraces, bluffs, canyons or mesas, as well as open areas in coastal or foothill woodlands with evergreen forest.
 Sun: Occurs in a variety of soils
 Soil: 6.0 - 8.0
 Soil PH: 6.0 - 8.0
 Drainage: Fast
 Cold Tolerance (degrees F): Tolerates cold to -10° F
 Drought Tolerance 2: Extremely Low Moderately Not
 Companion Plants: Because this species occurs over such a large part of the state in different habitats, it has many companion plants in the wild. In the garden, plant with other species that prefer fast drainage and moderately dry conditions.
 Wildlife Attracted: Very attractive to bees

2 SILVER LUPINE SHRUB

Deergrass
Muhlenbergia rigens

About Deergrass (Muhlenbergia rigens)
Deergrass is a large perennial bunchgrass found in sandy or well drained soils below 7000 feet in elevation in the southwestern United States and parts of Mexico. In California, it grows primarily in the coastal range of central and southern California, the Sierra and Cascade foothills, and the western part of the North Coast range. The plant is characterized by dense, tufted basal foliage consisting of narrow pointed leaves that reach lengths of about 3 feet and range in color from light silver green to purple. The spike-like stems are less than half an inch wide and 3 to 4 feet in length. During bloom, the numerous flower bunches often reach heights of 6 feet. Deergrass is characteristic of tallgrass prairie of much of the Western United States. It inhabits a wide range of ecotopes including grassland, riparian, chaparral, moist conifer, and oak woodland communities.

Deergrass is one of the most beautiful and probably the easiest to grow of all the native California bunchgrasses, typically reaching mature size in one or two years. It prefers sandy or gravelly soils, but does OK in moist soil as long as it's well drained. It can handle fairly heavy summer water (up to 1/2 per week), but once mature, it really doesn't need any supplementary water. It prefers full sun or part shade, but handles full shade reasonably well - it just grows more slowly.

Plant Description
 Plant Type: Grasses
 Max. Height: 4 - 5 ft (1.2 - 1.5 m)
 Max. Width: 4 ft (1.2 m)
 Form: Upright, Fountain
 Fragrance: None
 Growth Rate: Fast, Moderate
 Dormancy: Evergreen
 Leaves: Yellow, Cream
 Flower Color: Yellow, Cream
 Flowering Season: Spring Summer Fall Winter
 Native Status: Native

Landscaping Information
 Ease of Care: Very Easy
 Water Requirement?: Extremely Low Very Low Low Moderate High
 Popularity: Very Popular
 Max. Summer Water?: No Summer Water 1/month 2/month 3/month 1/week 2/week Keep most
 Pruning: Can be cut back in fall if it becomes unruly
 Propagation: For propagating by seed: No treatment
 Common uses: Groundcovers, Deer Resistant
 Nursery Availability: Commonly Available
 Nurseries (SEE MAP): Adams Nursery, Anderson Valley Resource Conservation Nursery, Adelman Nursery, Bay Natives, Buckeye Nursery, Cactus Mart, California Flora Nursery, Cactus Growers, Inc., Eckerly Nursery, Native Plant Nursery, Rancho Santa Ana Botanic Garden, Rancho Santa Ana Botanic Garden, San Marcos Conservatory, Succulent Nurseries, Inc., The Growing Grounds Farm, The Watershed Nursery, Theodore Payne Foundation, UC Botanical Garden California Native Plants Nursery, Verba Buena Nursery

Other Names
 Common Names: Deer Muhy

6 DEERGRASS SHRUB

Western Marsh Rosemary
Limonium californicum

About Western Marsh Rosemary (Limonium californicum)
Limonium californicum is a species of sea lavender known by the common names western marsh rosemary and California sea lavender. It is native to western North America from Oregon to Baja California, with occasional sightings in Nevada and Arizona. It is a plant of coastal habitat such as beaches, salt marshes, and coastal prairie, and other sandy saline and alkaline habitat such as playas. This is a tough perennial herb growing from a woody rhizome. The thick, leathery leaves are oval in shape and up to about 30 centimeters long including the petioles, located in a basal rosette about the stem. The flower cluster is a stiff, branching panicle no more than about 35 centimeters tall bearing large clusters of flowers. The flowers have brownish white ribbed sepals and lavender to nearly white petals.

Plant Description
 Plant Type: Perennial herb
 Max. Height: 1 - 2 ft (0.3 - 0.6 m)
 Max. Width: 1 - 2 ft (0.3 - 0.6 m)
 Form: Mounding, Spreading
 Growth Rate: Fast
 Dormancy: Evergreen
 Leaves: Thick, leathery, oval in shape, pale green in color
 Flower Color: Blue, Lavender, White, Brown
 Flowering Season: Spring Summer Fall Winter
 Native Status: Native

Wildlife Attracted
 Many pollinators

Landscaping Information
 Ease of Care: Moderately Easy
 Water Requirement 2: Extremely Low Very Low Low Moderate High
 Popularity: Moderately Popular
 Max. Summer Water 2: No Summer Water 1/month 2/month 3/month 1/week Keep most
 Mulch: Inorganic
 Common uses: Dogs and Ponds
 Nursery Availability: Commonly Available
 Nurseries: Bay Natives, California Flora Nursery, Elkhorn Native Plant Nursery, Gold Rush Nursery, Grove Native Nursery-Claremont (RS&B), Mossa Creek Nursery, Rancho Santa Ana Botanic Garden, RECON Native Plants, S&S Seeds Inc., Silver Seeds, The Watershed Nursery, Tree of Life Nursery, Walker Avonlea Nursery, Verba Buena Nursery

3 LAVENDER GRASSES

7 TURFSTONE PERMEABLE PAVER

| PLANT | WUCOLS RATING | QUANTITY | WUCOLS FACTOR | TOTAL |
|-------|---------------|----------|---------------|-------|
| 1 | LOW | 12 | 0.2 | 2.4 |
| 2 | VERY LOW | 13 | 0.1 | 1.3 |
| 3 | LOW | 7 | 0.2 | 1.4 |
| 4 | LOW | 20 | 0.2 | 4 |
| 5 | LOW | 5 | 0.2 | 1 |
| 6 | LOW | 7 | 0.2 | 1.4 |

7 TURFSTONE PERMEABLE PAVER

Foothill Sedge
Carex tumulicola

About Foothill Sedge (Carex tumulicola)
Foothill Sedge (Carex tumulicola) is a native grass-like herb in the Cyperaceae (Sedge) family that is found primarily along the coast from Humboldt County to San Luis Obispo County and on the Channel Island. It tends to grow in meadow and open places, at elevations from sea level to 4,000 feet. Unlike many other members of this genus, it is not a wetland plant. It prefers some moisture but can tolerate short periods of dryness. It spreads slowly by rhizomes.

Plant Description
 Plant Type: Grasses
 Max. Height: 0.5 - 1 ft (0.15 - 0.3 m)
 Max. Width: 2 ft (0.6 m)
 Growth Rate: Moderate
 Dormancy: Summer Semi-Deciduous
 Flower Color: Cream
 Flowering Season: Spring Summer Fall Winter
 Native Status: Native

Landscaping Information
 Ease of Care: moderately easy
 Water Requirement?: Extremely Low Very Low Low Moderate High
 Max. Summer Water?: No Summer Water 1/month 2/month 3/month 1/week Keep most
 Common uses: Groundcovers, Deer Resistant
 Nurseries (SEE MAP): Bay Natives, Buckeye Nursery, Cactus Mart, California Flora Nursery, Cactus Growers, Inc., Eckerly Nursery, Native Plant Nursery, Rancho Santa Ana Botanic Garden, Rancho Santa Ana Botanic Garden, San Marcos Conservatory, Succulent Nurseries, Inc., The Growing Grounds Farm, The Watershed Nursery, Theodore Payne Foundation, UC Botanical Garden California Native Plants Nursery, Verba Buena Nursery

4 FOOHILL SEDGE GRASSES

LANDSCAPE WATER-EFFICIENCY (MWEO) APPENDIX - D CHECKLIST
(Can only be used when aggregate landscape areas are 2,500 square feet or less)

| Landscape Parameter | Design Measures | Location on Plans |
|---------------------|---|-------------------|
| Compost | Incorporate compost at a rate of at least four (4) cubic yards per 1,000 sq. ft. to a depth of 6 inches into landscape area (unless contra-indicated by a soil test). | L 1 |
| Plant Water Use | Residential: Install climate adapted plants that require occasional, little or no summer water (average WUCOLS plant factor 0.3) for 75% of the plant area excluding edibles and areas using recycled water. Non-residential: Install climate adapted plants that require occasional, little or no summer water (average WUCOLS plant factor 0.3) for 100% of the plant area excluding edibles and areas using recycled water. | NA L 1 |
| Mulch | A minimum 3-inch layer of mulch should be applied on all exposed soil surfaces of planting areas, except in areas of turf or creeping or rooting groundcovers. | L 1 |
| Turf | Total turf area shall not exceed 25% of the landscape area. Turf is not allowed in non-residential projects. Turf (if utilized) is limited to slopes not exceeding 25% and is not used in parkways less than 10 feet in width. Turf, if utilized in parkways is irrigated by sub-surface irrigation or other technology that prevents overspray or runoff. | NA NA |
| Irrigation System | Irrigation controllers use evapotranspiration or soil moisture data and utilize a rain sensor. Irrigation controller programming data will not be lost due to an interruption in the primary power source. Areas less than 10 feet in any direction utilize sub-surface irrigation or other technology that prevents overspray or runoff. A private landscape submeter is installed at non-residential landscape areas of 1,000 sq. ft. or more. | L 1 |

REVISIONS BY

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7/9/2019

LANDSCAPE PLANTS

DATE: 3/8/2018
SCALE: AS SHOWN
DRAWN:
PAGE:

L2.0

LAST SAVED BY: Donya

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