

Planning and Building Department

County Government Center • 455 County Center • Redwood City CA 94063
Mail Drop PLN 122 • 650-363-4161 • FAX 650-363-4849

**Application for
Design Review by the
County Coastside Design
Review Committee**

Permit #: PLN PLN 2019 -

Other Permit #: PRE-2019-00011

1. Basic Information

Applicant:

Name: WERNER GUNDEL
Address: P.O. Box 11
EL GRANADA CA Zip: 94019
Phone, W: _____ H: 650.346.9175
Email: wgundele@comcast.net

Owner (if different from Applicant):

Name: _____
Address: _____
Zip: _____
Phone, W: _____ H: _____
Email: CONSULTANT:

Architect or Designer (if different from Applicant):

Name: TERRY ARMENTROUT
Address: 18290 RIDGEDALE AVE., MADEIRA CA Zip: 93638
Phone, W: 559.479.1714 H: _____

DAVID HIRZEL 650 201 0440
P.O. Box 1808 davidhirzel@design
PACIFICA CA 94074 @gmail.com
Email: TERRY_ARMENTROUT@yahoo.com

2. Project Site Information

Project location:

APN: 047-211-160
Address: 366 FRANCISCO ST.
EL GRANADA CA Zip: 94018
Zoning: R1/S17/DR
Parcel/lot size: _____ 6000 sq. ft.

Site Description:

Vacant Parcel
 Existing Development (Please describe):
ONE STORY SFD ON DOWNSLOPE LOT
1224 SF W/ 400 SF GARAGE

3. Project Description

Project:

- New Single Family Residence: _____ sq. ft
- Addition to Residence: 1067 sq. ft
- Other: _____

Describe Project:

ADD 1025 SF CONDITIOMEN @ (E)
SUBAREA; REMODEL PARTS OF (E)
CONDITIOMEN; ENCLOSE 42 SF (E) CAS.
PORCH; 2-STORY ADD W @ REAR;
(N) 2ND STORY DECK

Additional Permits Required:

- Certificate of Compliance Type A or Type B
- Coastal Development Permit
- Fence Height Exception (not permitted on coast)
- Grading Permit or Exemption
- Home Improvement Exception
- Non-Conforming Use Permit
- Off-Street Parking Exception
- Variance

4. Materials and Finish of Proposed Buildings or Structures

Fill in Blanks:	Material	Color/Finish <small>(If different from existing, attach sample)</small>	Check if matches existing
a. Exterior walls	1x8 HARDPLANK	BEHR GARDIACTOR GREY	<input type="checkbox"/>
b. Trim	1x4	" CONFEDERATE "	<input type="checkbox"/>
c. Windows	PG VINYL	WHITE	<input type="checkbox"/>
d. Doors	WOOD	NATURAL	<input checked="" type="checkbox"/>
e. Roof	COMP	CHARCOAL 40 YR	<input checked="" type="checkbox"/>
f. Chimneys	DEMO	Ø	<input type="checkbox"/>
g. Decks & railings	WOOD	NATURAL	<input checked="" type="checkbox"/>
h. Stairs	—	—	<input type="checkbox"/>
i. Retaining walls	—	—	<input type="checkbox"/>
j. Fences	—	—	<input type="checkbox"/>
k. Accessory buildings	—	—	<input type="checkbox"/>
l. Garage/Carport	—	—	<input type="checkbox"/>

To approve this application, the County must determine that this project complies with all applicable regulations including the required findings that the project does conform to the standards and guidelines for design review applicable to the location of the project pursuant to Section 6565.10.

(optional) Applicant's Statement of project compliance with standards and guidelines (check if attached).

I hereby certify that the information stated above and on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of my knowledge. It is my responsibility to inform the County of San Mateo through my assigned project planner of any changes to information represented in these submittals.

Werner Cundell

 Owner:

David Hirzer

 Applicant:

WERNER CUNDELL

DAVID HIRZER

9/4/20

9.3.20

Date:

Date:

366 Francisco Ave. CDRC Application Project Narrative

The project consists of a 10' x 20' (400sf) 2-story addition and an 8'x14' (136sf) second story deck to the rear of a 1764 sf (coverage) SFD on a downward sloping lot. In addition, a small portion (42sf) of the existing covered front porch will be enclosed, and a portion of existing subarea will be remodeled into 1025 sf new conditioned space with a Family Room, Bedroom, Bath, Study, and Laundry.

With the exception of the small Entry addition, the other additions to the structure will be along the back side, with minimal visibility from the street. The addition and deck will continue the overall appearance of the house.

Roofing over the addition will be 40-year composition to match existing "Amber Wheat." Existing T-111 siding will be covered with 1x8 Hardiplank painted Behr "Gladiator Gray" with 1x4 trim "Light Year"

Decks will be wood, with wood railing.



Product Description



This wall light doesn't only send a beam of light from both the top and bottom of its tube shape to highlight the exterior of your home, but also adds a soft warm glow and visual appeal to your living space, creating a cozy ambience with 3000K warm white light.

Perfect Illumination

Achieve the perfect illumination effect with this cylinder up down light. It provides a 1400lm 3000K warm white light at only 20W compared to a traditional 120W wall light, reducing your energy usage, saving you on your electric bill and producing a cozy ambience.

Night Security Guard

Not just decoration; this light also keeps animals away from visiting your home, which means it can be your "security guard" at night. In addition, with its good waterproof performance, the wall mount lamp is suitable for use in wet locations.

Wide Application

Use this lamp indoors and outdoors, it can be placed in the garage, garden, corridor, patio, hallway, balcony or walkway. It lights up the dark and is also a nice decorative piece with an elegant appearance, making it a great choice!

We are replacing the existing product packagings with updated version to improve our customer's shopping experience, during which you might receive products with packagings in different versions.

Specifications

Wattage: 20W

Voltage: 100-277V 50/60hz

Luminous flux: 1400lm

CRI>80

Lifespan: 50,000hrs

CCT: 3000K

Dimmable: No

Working temp: -4°F-104°F

Waterproof rating: Wet location

Size of compatible junction box (not included): 4 inches



This item LEONLITE 20W LED Cylinder Up Down Wall Light, Aluminum Finish Waterproof Super Bright Outdoor Wall Lamp, Hykolity 20W Outdoor LED Wall Mount Cylinder Porch Aluminum Finish Wall Sconce Lighting, 1400lm, 3000K

100V-277V for Decoration on Door Way, Entry, Corridor, Garage, Waterproof Up and Down Architectural Fixture, for Door
5 Years Warranty, Pack of 2

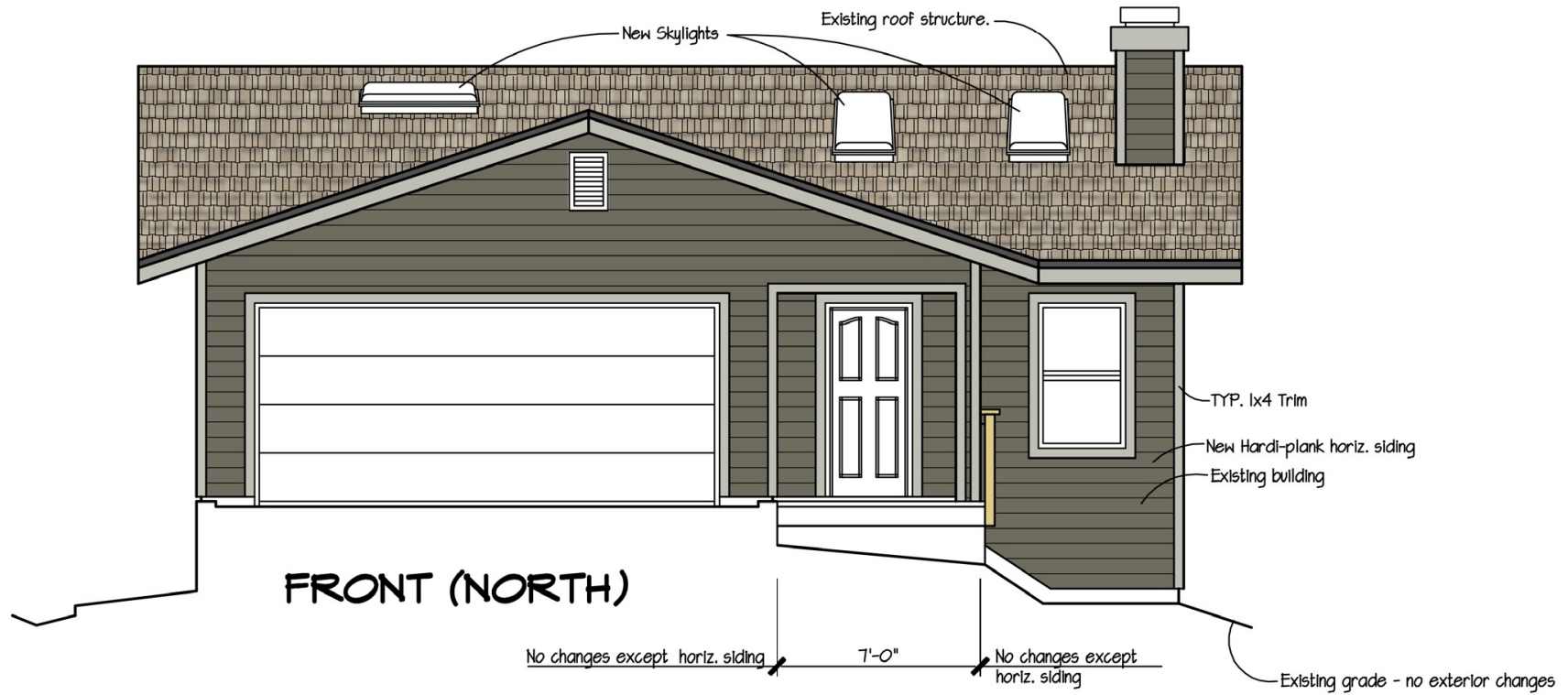
Corridor, Garage - 2 Pack

	Add to Cart	Add to Cart
Customer Rating	(87)	(27)
Price	\$79.19 \$79.19	\$79.99 \$79.99
Shipping		
Sold By	Torchstar	Hykolity
Color	Dark	Black
Light Source	LED	LED
Material	Metal, Aluminum	Aluminum
Voltage	100277.00 volts	100277.00 volts

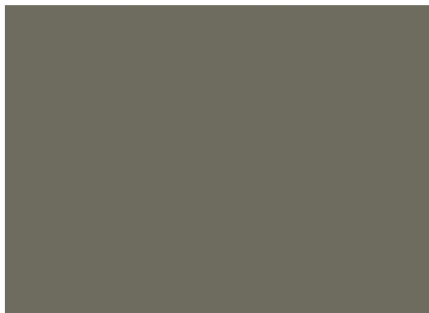
Product information

Size:2 Pack

Brand	LEONLITE
Manufacturer	LEONLITE
Part Number	ZH3UDL-2P20WC30-BLK
Item Weight	3.62 pounds
Package Dimensions	13.6 x 10.7 x 5.7 inches
Item model number	ZH3UDL-2P20WC30-BLK
Is Discontinued By Manufacturer	No
Style	Modern
Color	Dark
Shape	Cylinder
Material	Metal, Aluminum
Number of Lights	2
Voltage	100277 volts
Fixture Features	1400lm high brightness, Sturdy construction, ETL & Energy Star listed, Easy installation, 5-year warranty
Shade Material	Aluminum
Light Direction	Up/Down Light
Power Source	AC
Batteries Included?	No
Batteries Required?	No
Type of Bulb	LED
Luminous Flux	1400 lm
Wattage	20 watts
Color Temperature	3000 Kelvin



Gladiator Gray N370-6



LRV: 15 R: 110 G: 108 B: 94

SIDING COLOR

Light Year N370-3



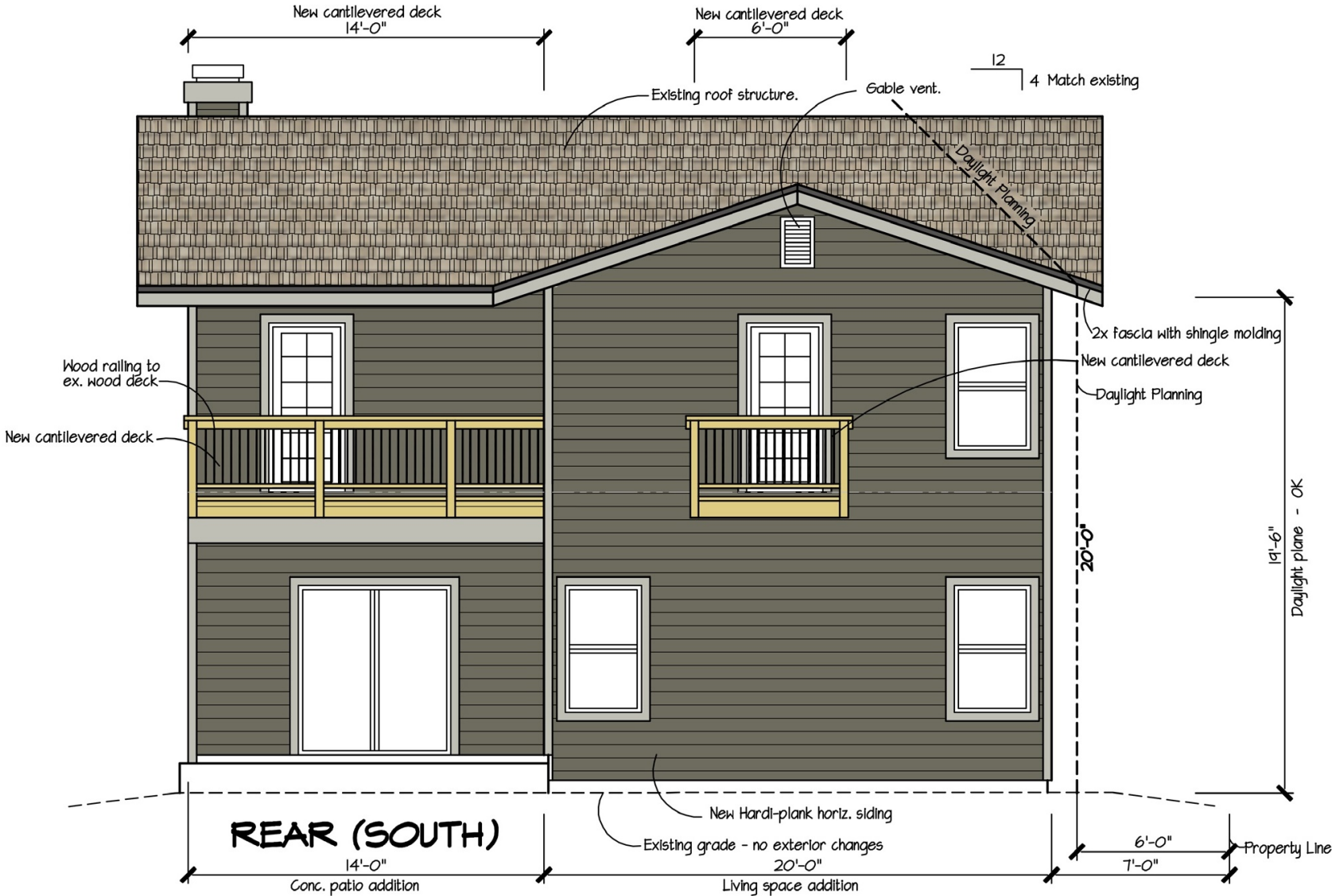
LRV: 52 R: 191 G: 191 B: 180

TRIM COLOR



COMPOSITE SHINGLE
"AMBER WHEAT"
(to match existing)

PLN2020-00307 - (366 Francisco Street, El Granada)

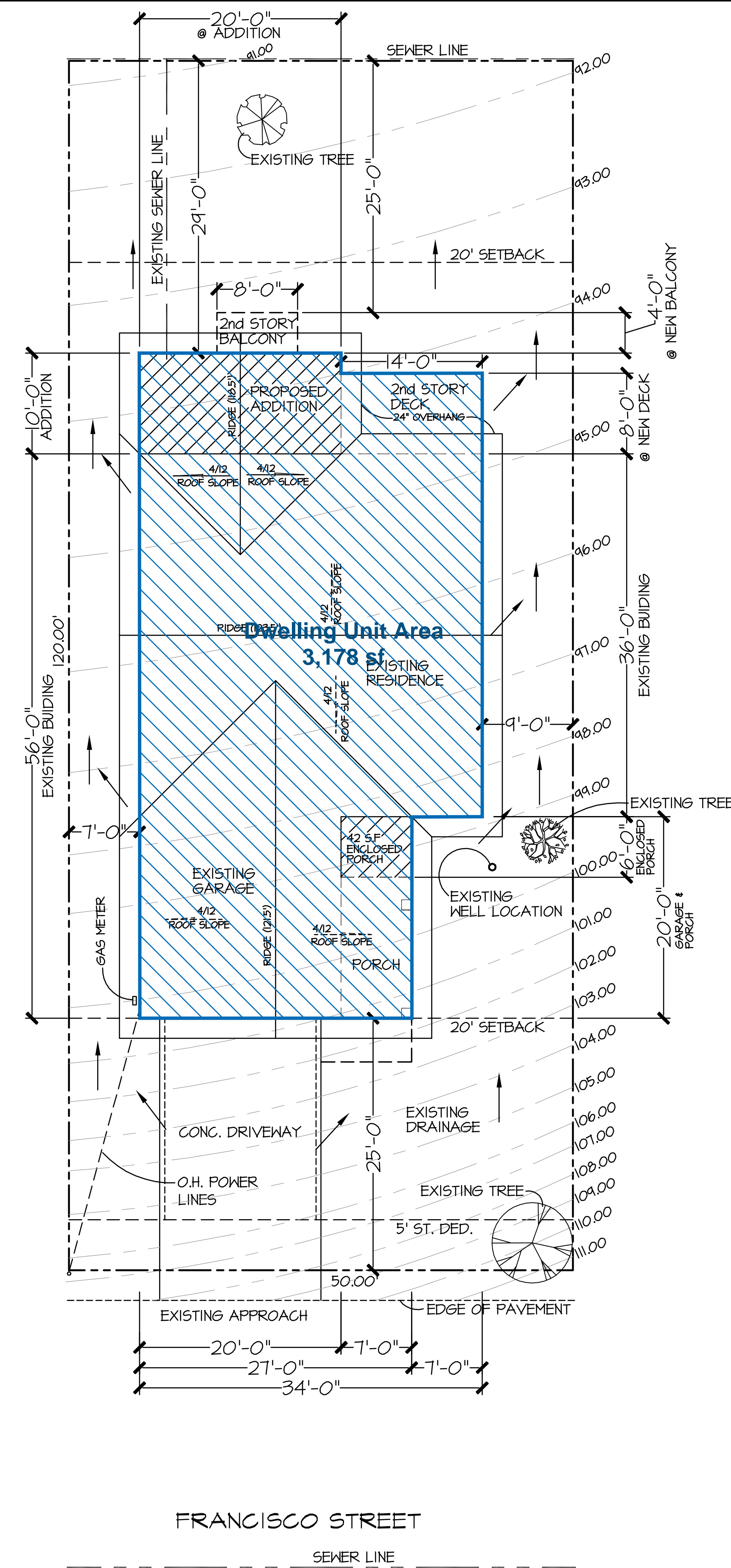




VICINITY MAP



ENLARGED VICINITY MAP



SITE PLAN
Scale: 1"=10'-0"

HOME ADDITION / REMODEL PLAN

Building Data

BUILDING USE : SINGLE FAMILY RESIDENCE
 OCCUPANCY CATEGORY : II
 OCCUPANCY TYPE : R-3 / U
 TYPE OF CONSTRUCTION : YB

Site Data

APN : 047-211-160
 SITE ADDR. : 366 FRANCISCO STREET
 EL GRANADA, CA. 94018

WALL LEGEND

--- 2"x4" STUDS @ 16"o.c.
 FRAMED WALL
 - - - - - EXISTING ROOF LINE

366 Francisco Ave., El Granada, Ca. Site Data

	EXISTING	TOTAL NEW	TOTAL PROPOSED
1st Story Conditioned	1224	42	1266
New Lower Story Conditioned	0	1025	1025
Garage	400		400
Covered Porch	140	42	182
Total Floor Area House	1764	1025	2789
Total Conditioned Area	1224	1061	2285
Floor Area Ratio	0.21		0.46
Existing Coverage House	1764	200	1964
New 2nd Story Deck		136	136
Total Coverage	1764		2100
Site Area	6000		6000
Percent Coverage	0.29		0.35

Scope of Work

1. CONVERT EXISTING UNDER FLOOR OPEN AREA INTO NEW CONDITIONED LIVING SPACE.
2. REMODEL EXISTING MAIN FLOOR LEVEL ADDING ADDITIONAL AREA TO THE EXISTING MASTER BEDROOM.
3. ADD A NEW PATIO AT THE LOWER LEVEL.
4. ADD A NEW DECK OVER THE NEW LOWER LEVEL PATIO.
5. POP-OUT FRONT DOOR HALL TO CREATE AN ENTRY.
6. ADD NEW EXTERIOR SIDING.

SHEET INDEX

NO	SHEET INDEX
A0	SITE PLAN, DMA, VICINITY MAP, SHEET INDEX
A1	PROPOSED FLOOR PLAN
A2.1	PROPOSED ELEVATION, SECTION
A2.3	BUILDING SECTIONS
AB1	EXISTING FLOOR PLAN
AB2	EXISTING ELEVATION

PLANS PREPARED BY:
TERRY ARMENTROUT DRAFTING INC.
 Terry & Irene ArmentROUT 18290 RIDGEDALE DRIVE
 Madera, California 93638 (559) 474-1714
 terry_armentROUT@yahoo.com

REVISIONS
ITEM DATE COMMENTS

WERNER GUNDEL
 366 FRANCISCO STREET
 EL GRANADA, CA. 94018 (650) 346-9175
 PROJECT SITE: 366 FRANCISCO ST.

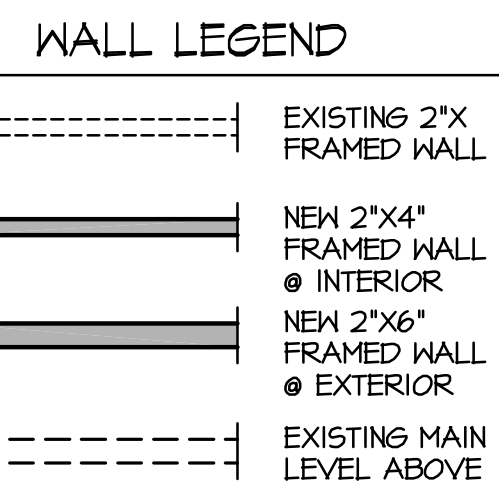
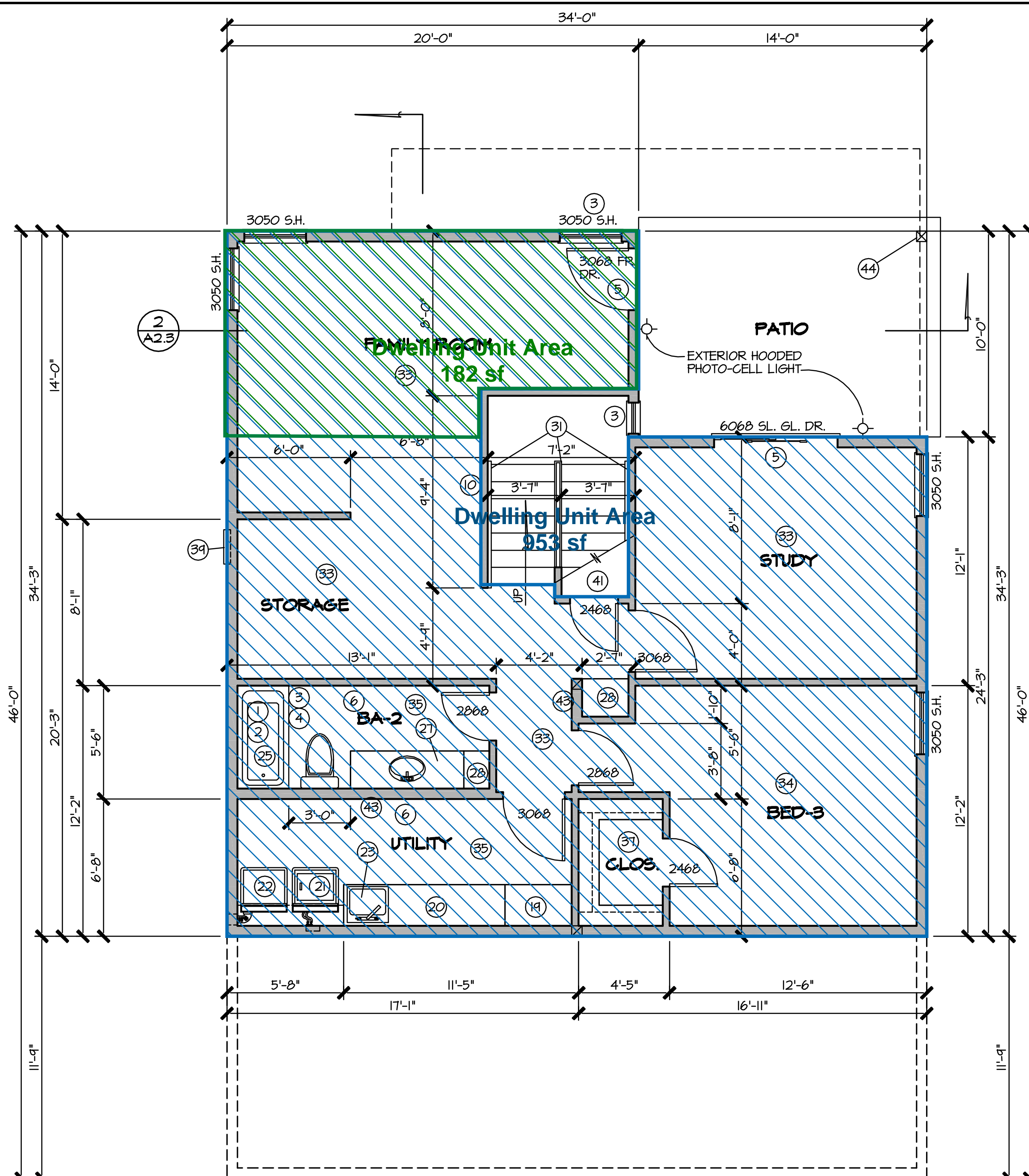
PLANS FOR:

DRAWN BY
 T. ARMENTROUT
 CHECKED BY

DATE
 11 / 2019
 SCALE
 1"=10'-0"
 JOB NO.
 366 FRANCISCO ST.
 SHEET

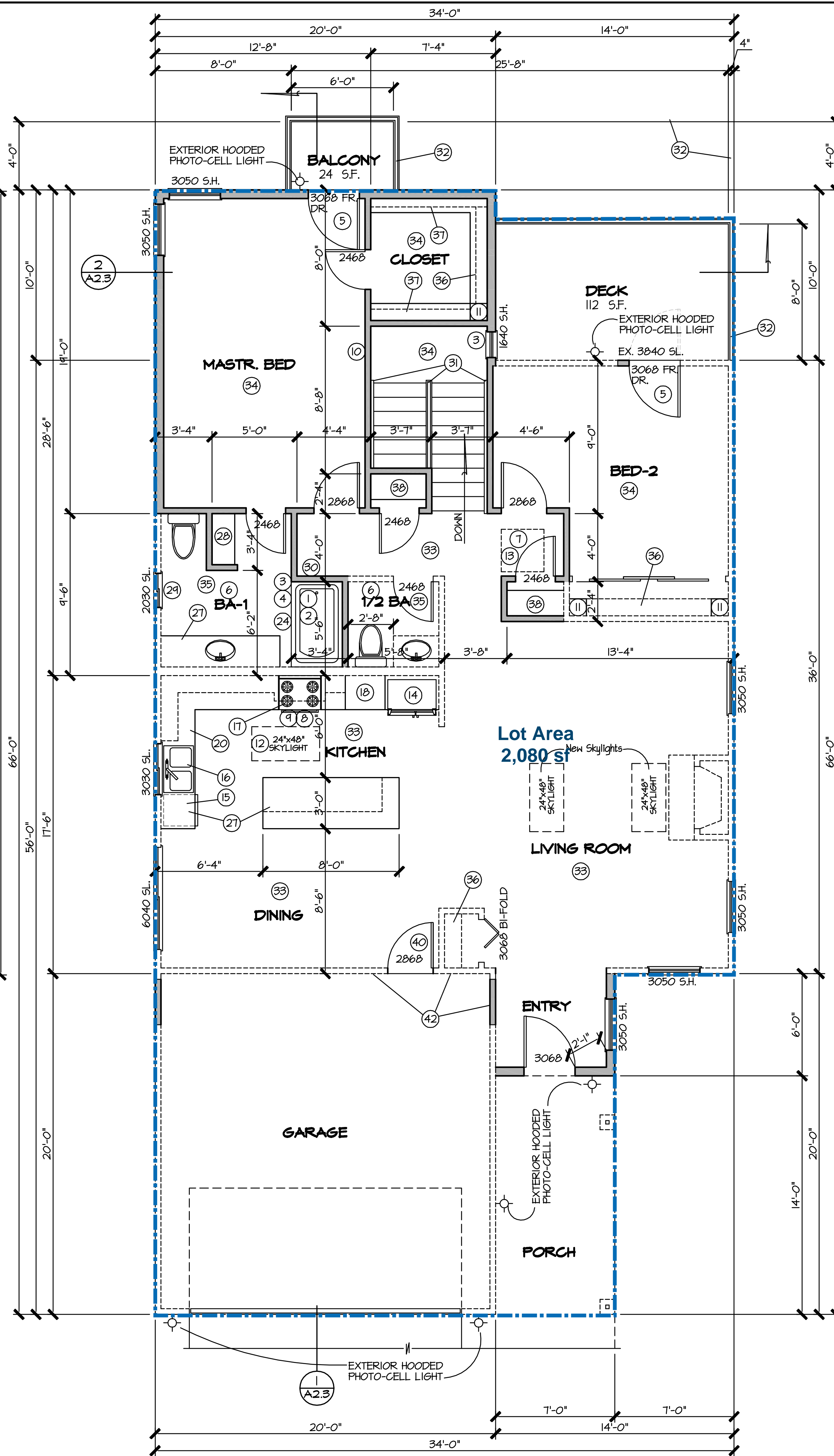
A0

OF 6 SHEETS



LOWER LEVEL FLOOR PLAN

SCALE: 1/4"=1'-0"



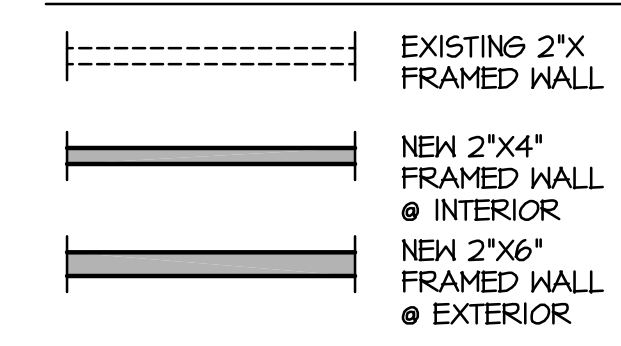
UPPER LEVEL FLOOR PLAN

SCALE: 1/4"=1'-0"

FLOOR PLAN NOTES

- Shower stalls & tub enclosures must conform to the requirements of CPC (1024 sq. in.).
- Wall surfaces behind cer. tile or other finish wall materials are to be constructed of materials not adversely affected by water. Gyp. bd. must meet requirements of CPC. Materials shall conform to ASTM C 1178, C 1288 or C 1325 & shall be installed per manufacturer instructions.
- This window / shr. dr. to be safety glass.
- All shwr. doors to be a minimum of 22" wide, with an unobstructed opening for egress.
- All sliding glass doors, french doors, bel-air doors & doors out of garage to have tempered glass.
- Provide a mechanical ventilating system - exhaust fan in kitchens, bathrooms & utility rooms - see Mechanical plan for min. CFM & all additional requirements.
- Provide heating equip. sufficient to meet reqm'ts set forth in CRC - located in existing attic.
- Provide backdraft damper @ all hoods vented thru roof.
- Height to combustible material above kit. ranges - 30" unprotected, 24" protected & horiz. cl. per stove mfg. listings.
- Framing lumber shall be at least the min. grade shown in CRC tables.
- Mechanical chase
- Existing skylight.
- 30" x 30" attic access w/30" headroom.
- Refrig. space.
- D.K.I.
- Dbl. sink w/disp.
- Range w/ hood & fan v.t.r. (horiz. cl. per manuf.).
- Pantry cab.
- O.H. cabinets
- Lower & upper cab.
- Washer
- Dryer (vent to outside)
- Laundry tray
- 42"x60" Tub/Shr. w/ solid surface wall covering, wall covering to be a min. + T2" w/ saf. gl. door
- 36"x60" Shower stall w/ solid surface wall covering, wall covering to be a min. + T2" w/ safety glass dr.
- 5' oval jetted tub w/ 12" splash.
- Solid surface counter tops (per owner spec.).
- Full cabinet - linen.
- Obscure glass
- 12" sq. tub access, or per manuf. spec's.
- Handrail + 34"-38"
- Guardrail + 42"
- Hardwood flooring
- Carpet
- Cer. tile flooring
- Shelf and pole.
- Double shelf and pole.
- 5 fixed shelves.
- Tankless gas water heater - see title-24.
- 1 3/8" s. c. self-closing door-weatherstrip, & also be "POSITIVE LATCHING".
- 5/8" type 'x' gyp. bd. under stairs.
- 5/8" type 'x' gyp. bd. @ walls & ceiling and all supporting walls at garage.
- 2x6 framed wall.

WALL LEGEND



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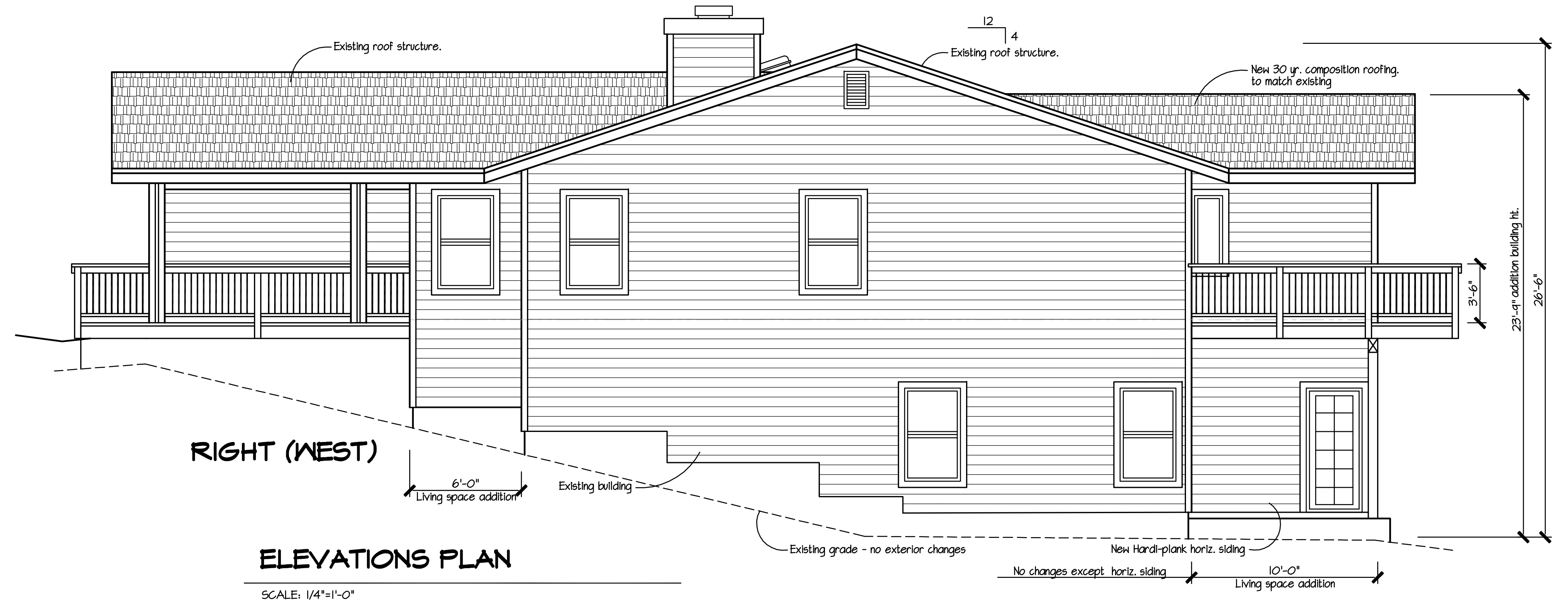
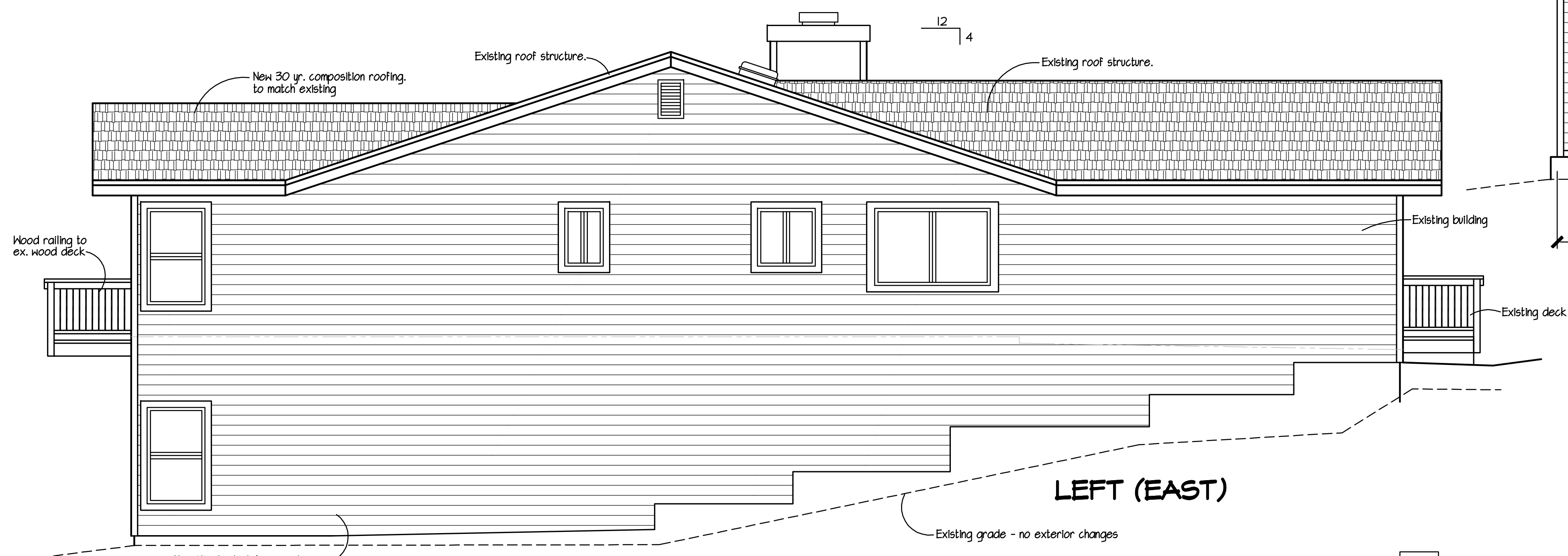
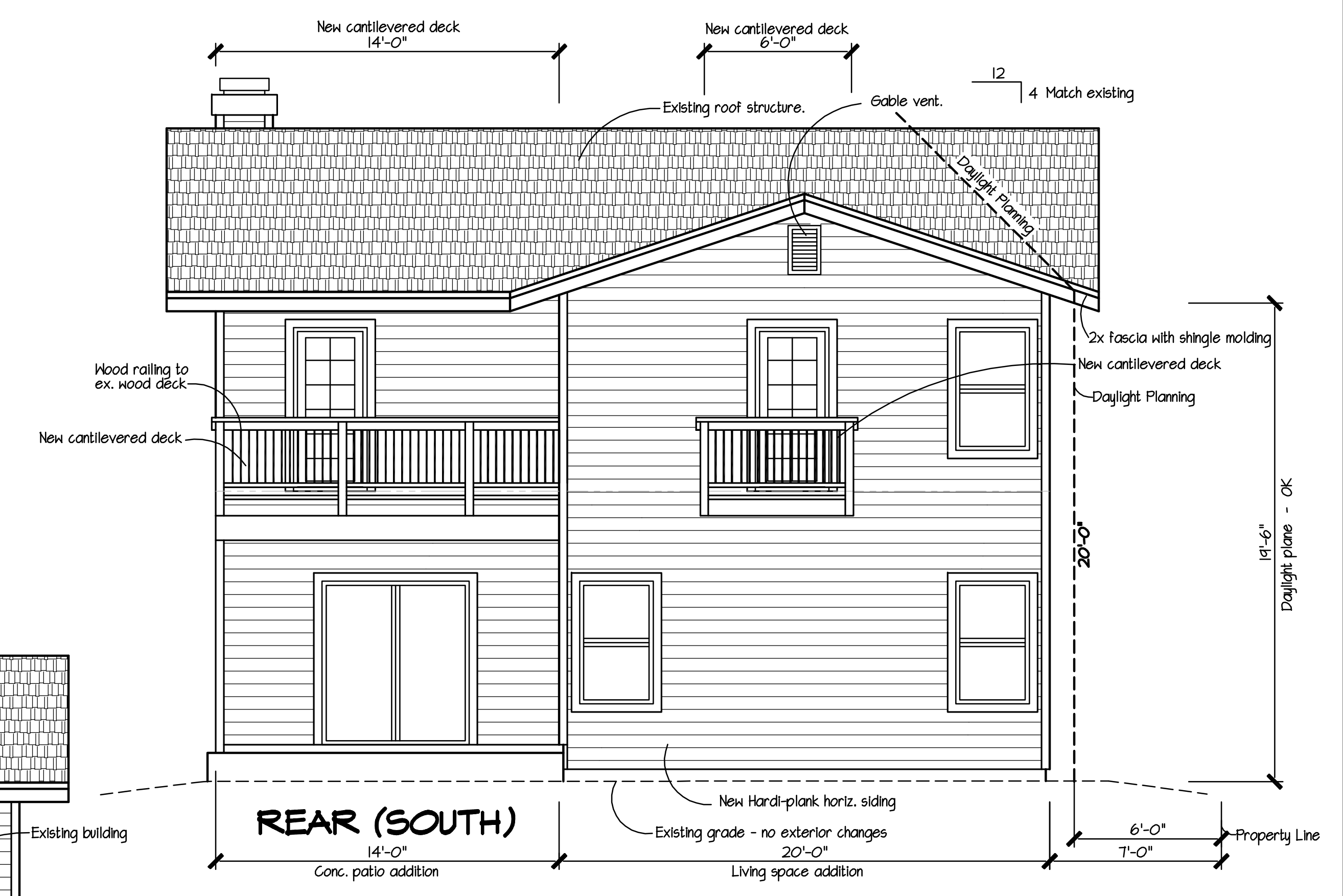
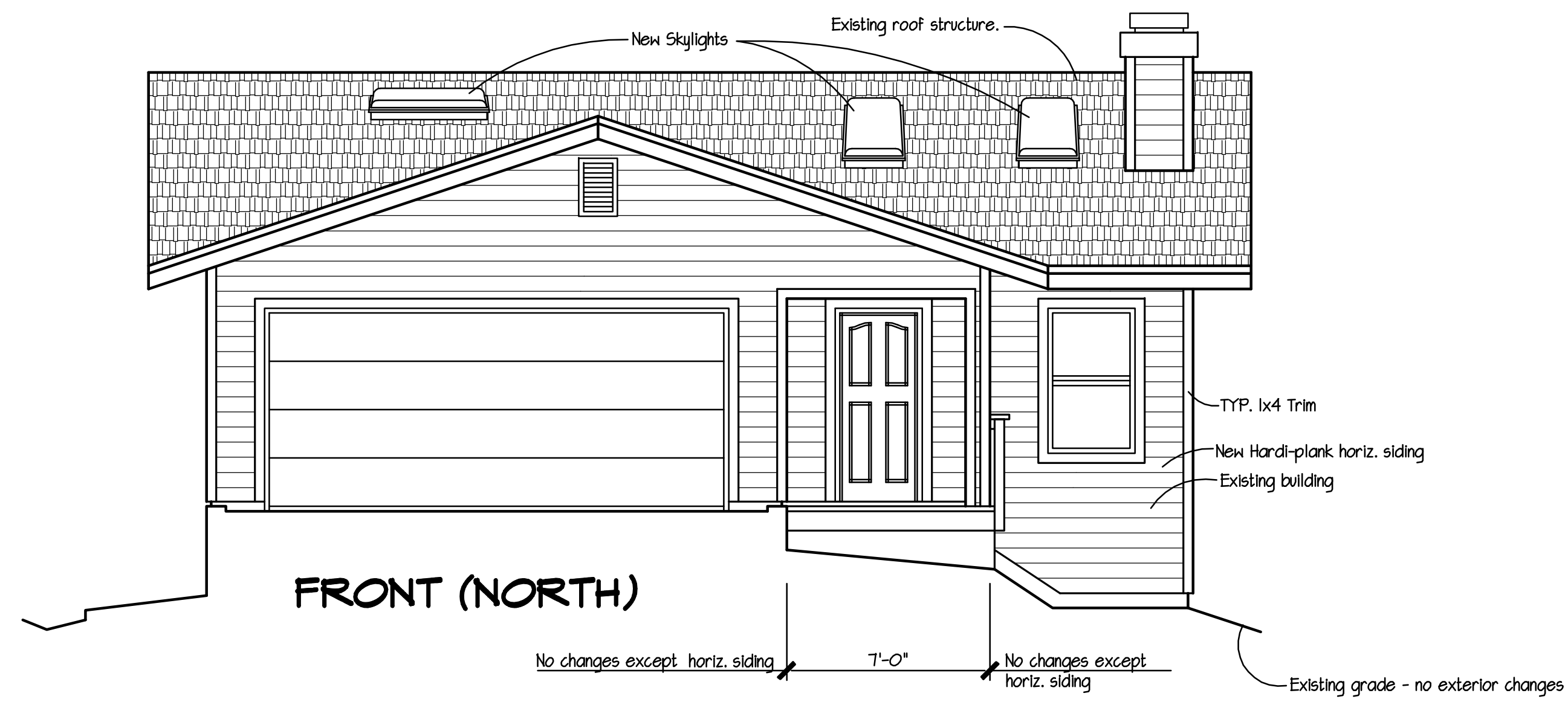
WERNER GUNDEL
 366 FRANCISCO STREET
 EL GRANADA, CA. 94018 (650) 346-9115
 PROJECT SITE: 366 FRANCISCO ST.

PLANS FOR:

DRAWN BY	T. ARMENTROUT
CHECKED BY	
DATE	11 / 2019
SCALE	1/4"=1'-0"
JOB NO.	366 FRANCISCO ST.
SHEET	

A1

HOME ADDITION / REMODEL PLAN



ELEVATIONS PLAN

SCALE: 1/4"=1'-0"

HOME ADDITION / REMODEL PLAN

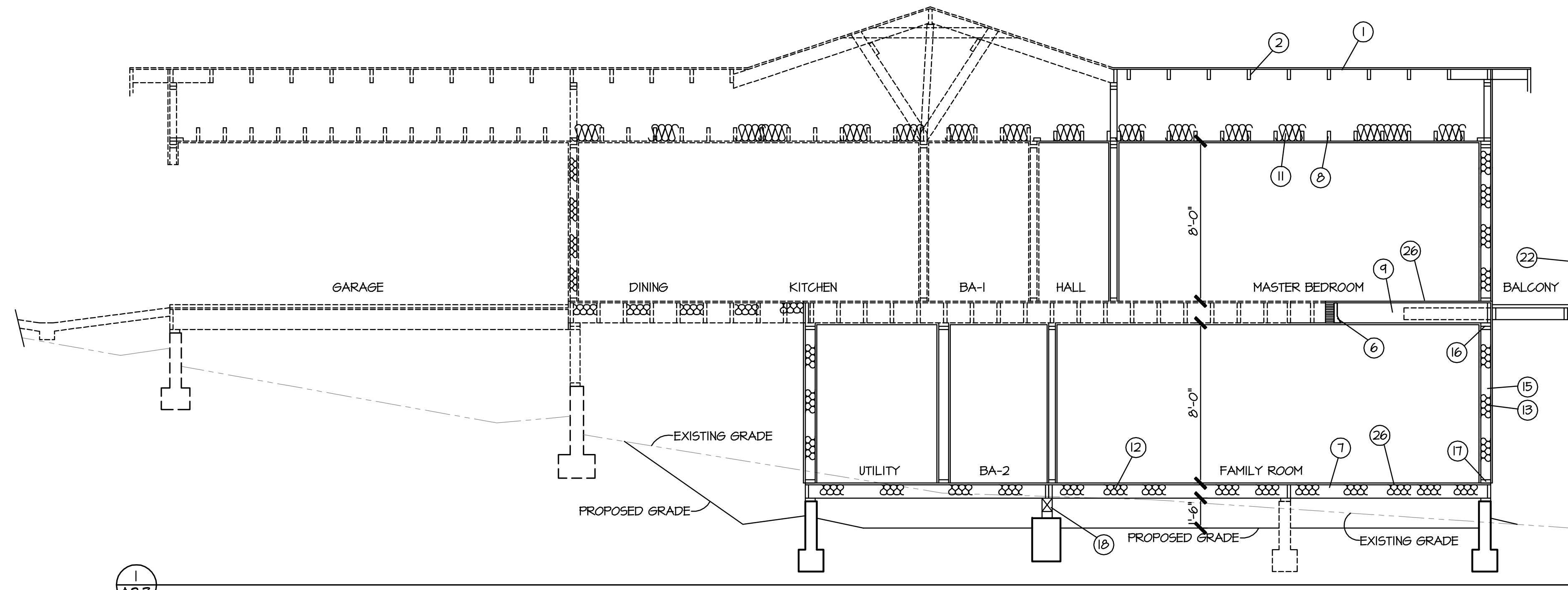
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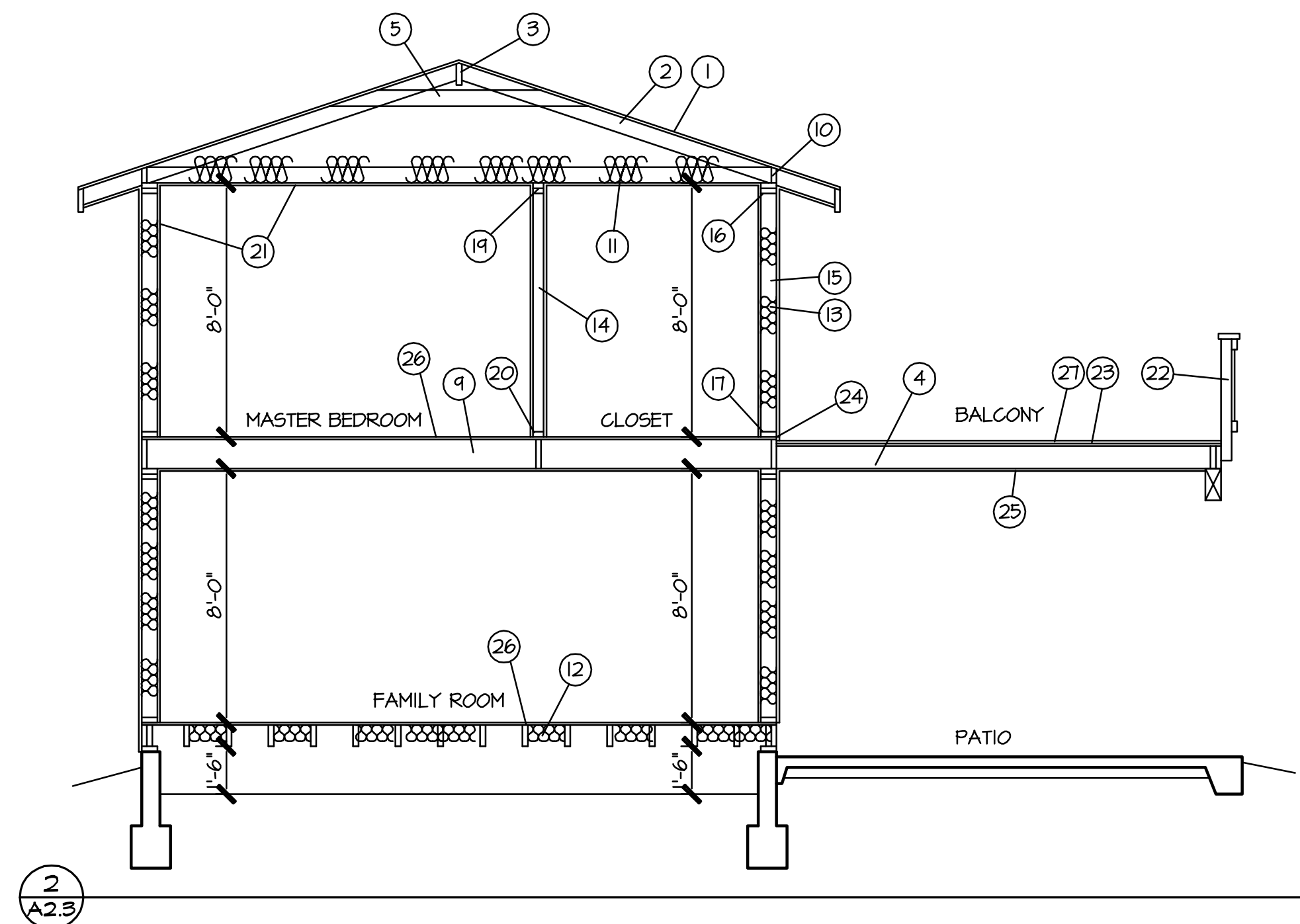
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SHEET

A2.1
 OF 6 SHEETS



1
A2.3



2
A2.3

SECTION NOTES

1. Composition roof covering ov/ 15 lb. felt ov/ solid sheathing w/ 8d nails @ 6" o.c. edges @ 12" o.c. field. (see roof plan for general notes).
2. 2x6 D.F. #2 rafters @ 24" o.c.
3. 2x6 D.F. #2 ridge
4. 2x12 D.F.#2 FLOOR JOISTS @ 16" o.c. RIPPED @ 1/4" PER FOOT SLOPE
5. 1x6 collar ties @ 48" o.c.
6. G.I. hanger
7. 2x10 D.F. #2 floor joists @ 16" o.c.
8. 2x6 D.F.#2 c.j. @ 16" o.c.
9. 2x12 D.F.#2 floor joists @ 16" o.c.
10. 2x solid blocking except @ vents.
11. R-38 insulation min. top. attic.
12. R-19 insulation
13. R-19 insulation @ ext. walls.
14. 2x4 studs @ 16" o.c.
15. 2x6 studs @ 16" o.c.
16. (2) 2x6 top plate cont.
17. 2x6 sill.
18. 6x8 D.F. #1 glider
19. (2) 2x4 top plate cont.
20. 2x4 sill.
21. 1/2" gap. bd.
22. Handrail - see details
23. 1 1/2" light weight conc. deck flooring.
24. G.I. flashing @ deck to wall connection.
25. T. & G. wood lrd.
26. 3/4" plywood subfloor, staggered, glue & nail per CRC.
27. Waterproof barrier between plywood & conc.

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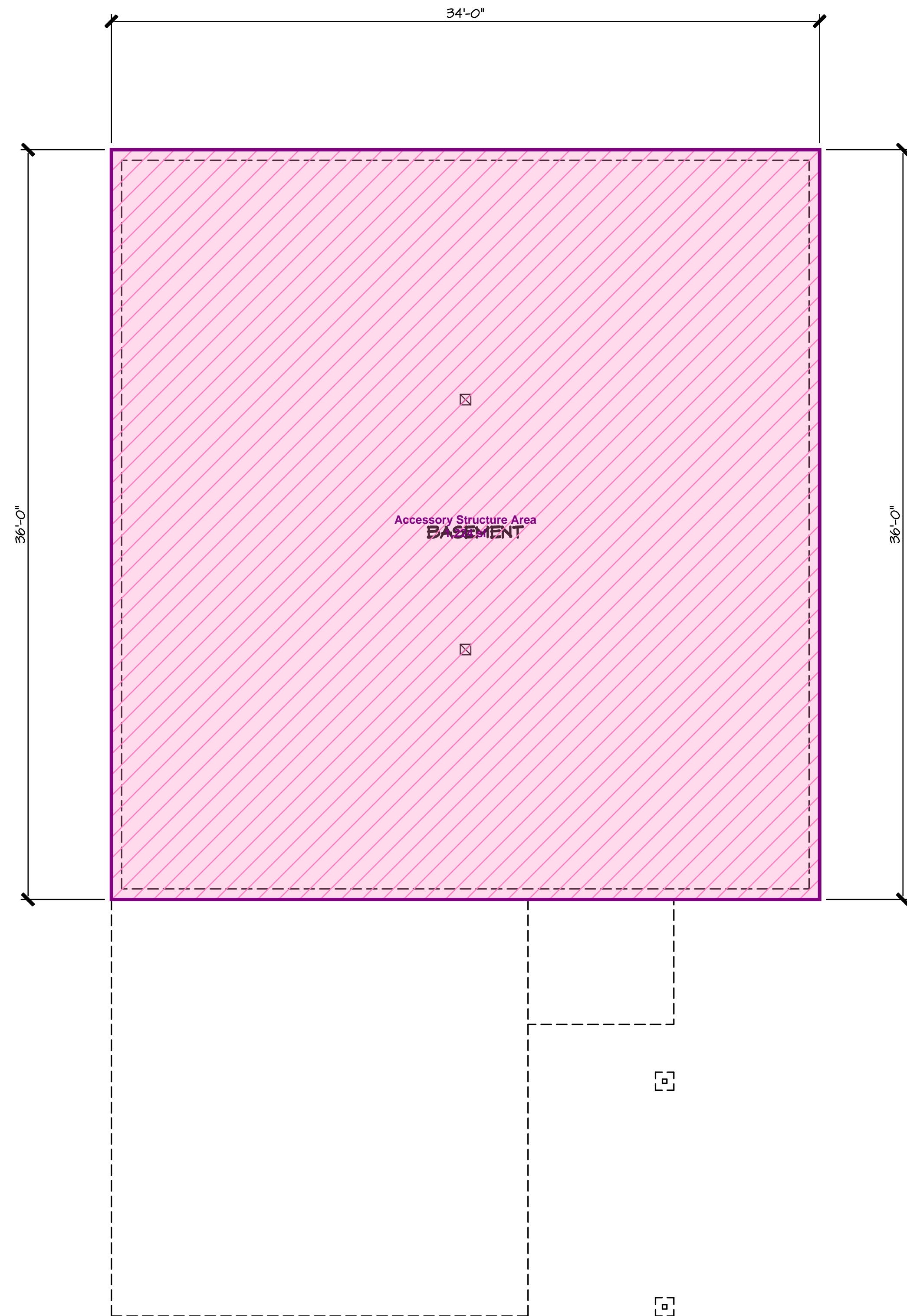
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SHEET

A2.3
 OF 6 SHEETS

SECTIONS PLAN

SCALE: 1/4"=1'-0"

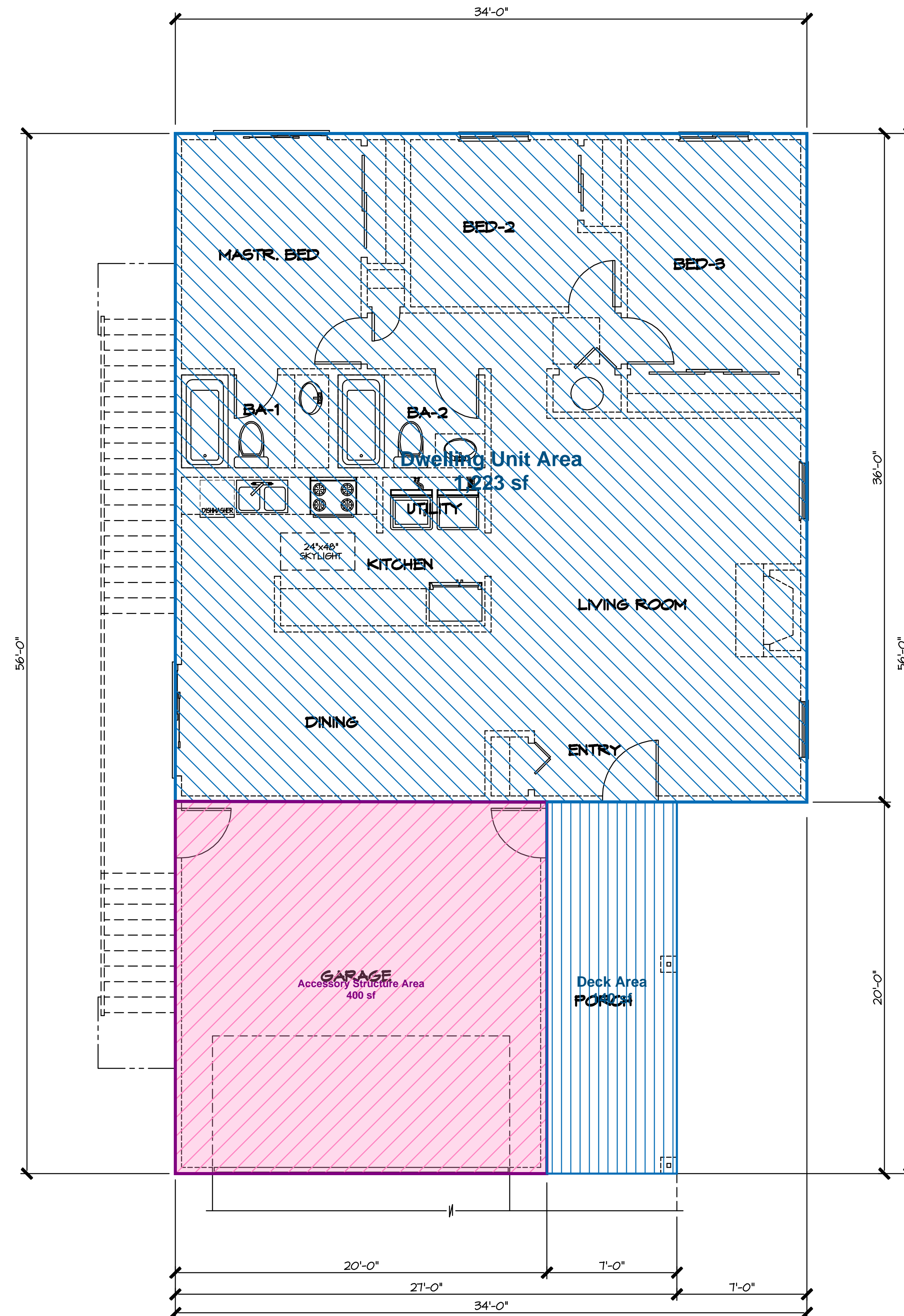


EXISTING LOWER LEVEL FLOOR PLAN

SCALE: 1/4"=1'-0"

BUILDING AREAS

EX. UNDERFLOOR AREA:	1224	S.F.
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EXISTING MAIN LEVEL FLOOR PLAN

SCALE: 1/4"=1'-0"

BUILDING AREAS

EX. LIVING AREA:	1224	S.F.
EX. GARAGE AREA:	400	S.F.
EX. PORCH AREA:	140	S.F.
TOTAL AREA:	1764	S.F.

HOME ADDITION / REMODEL PLAN

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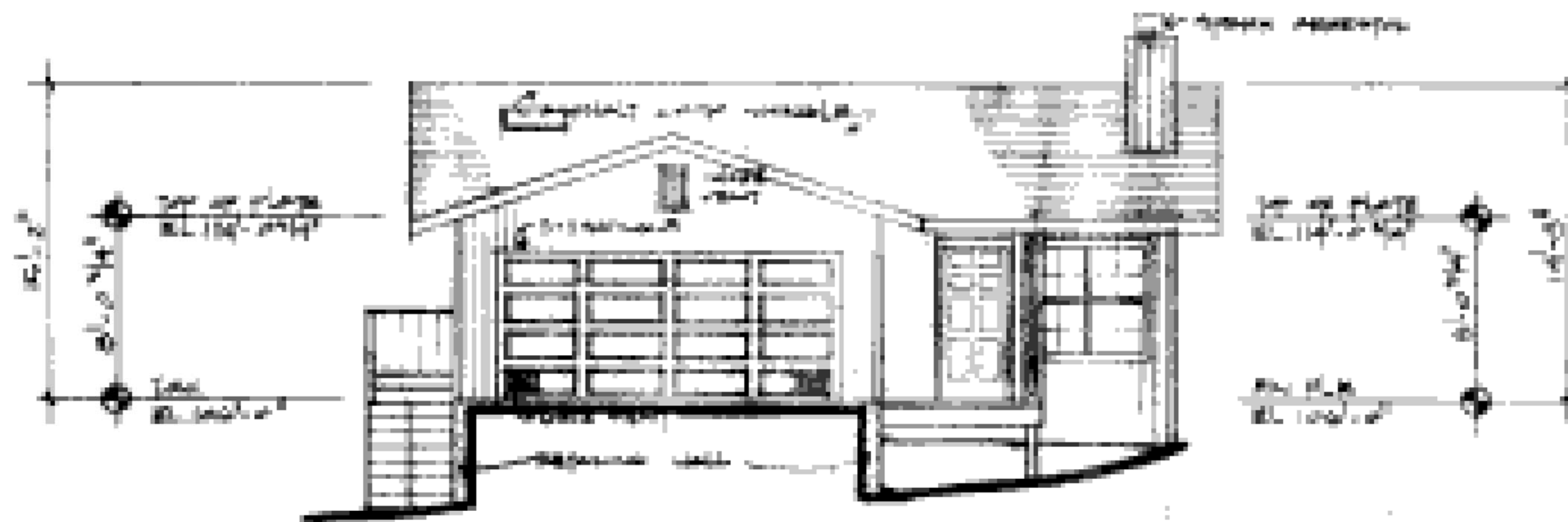
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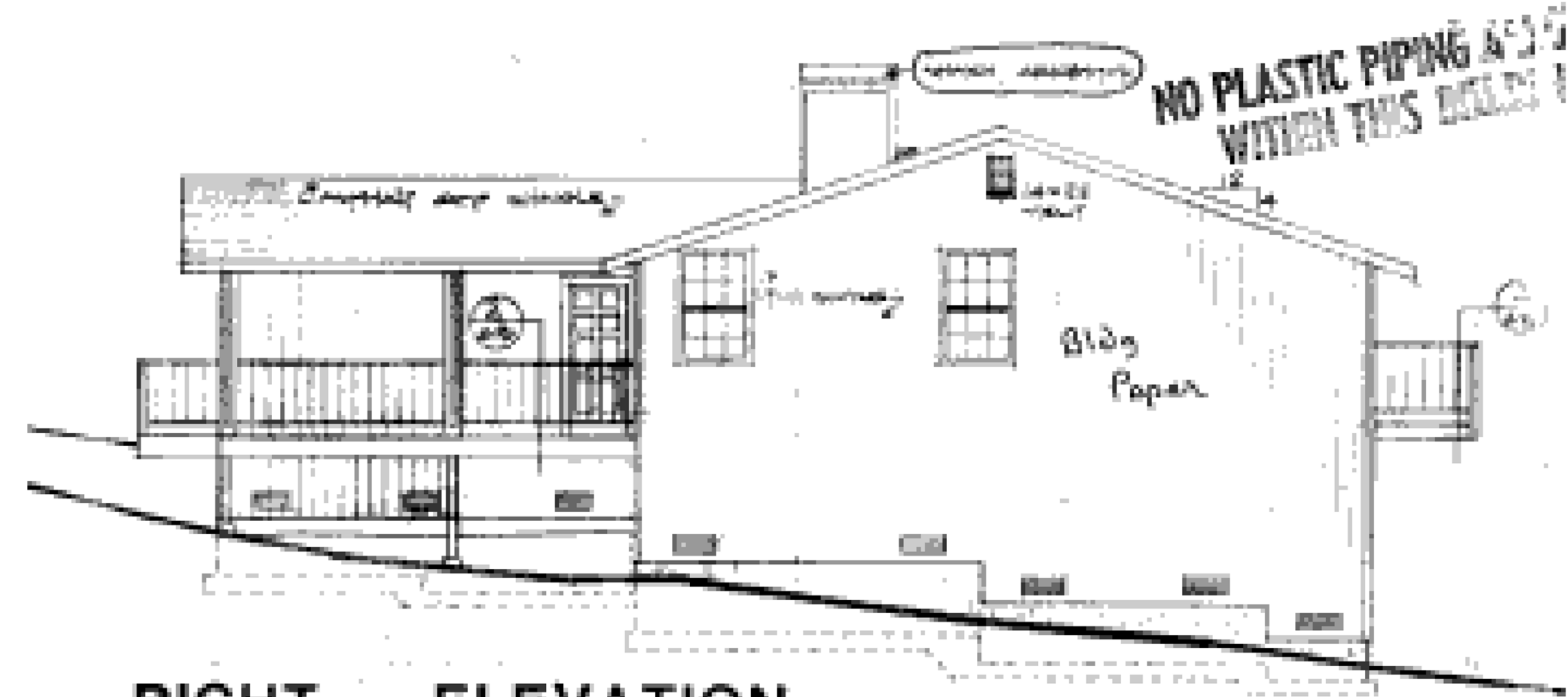
SHEET

AB.1

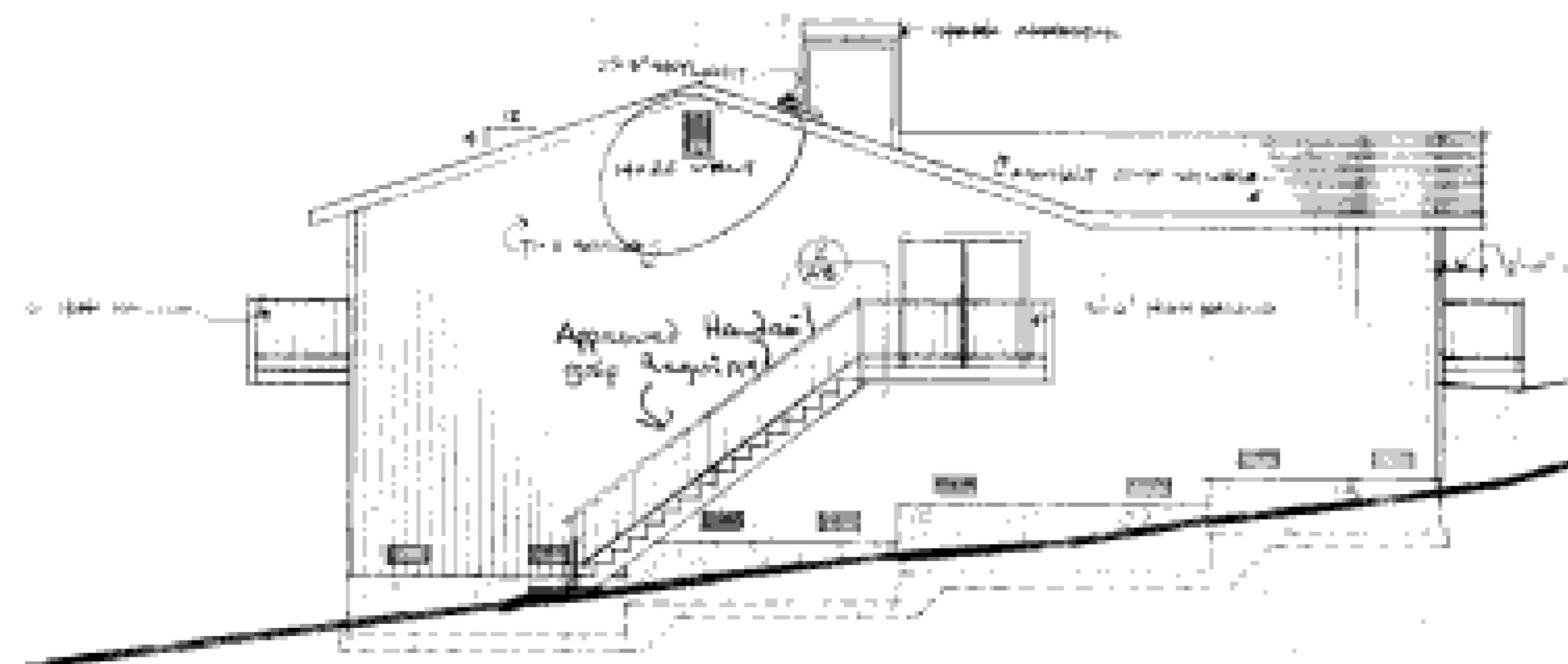
OF 6 SHEETS



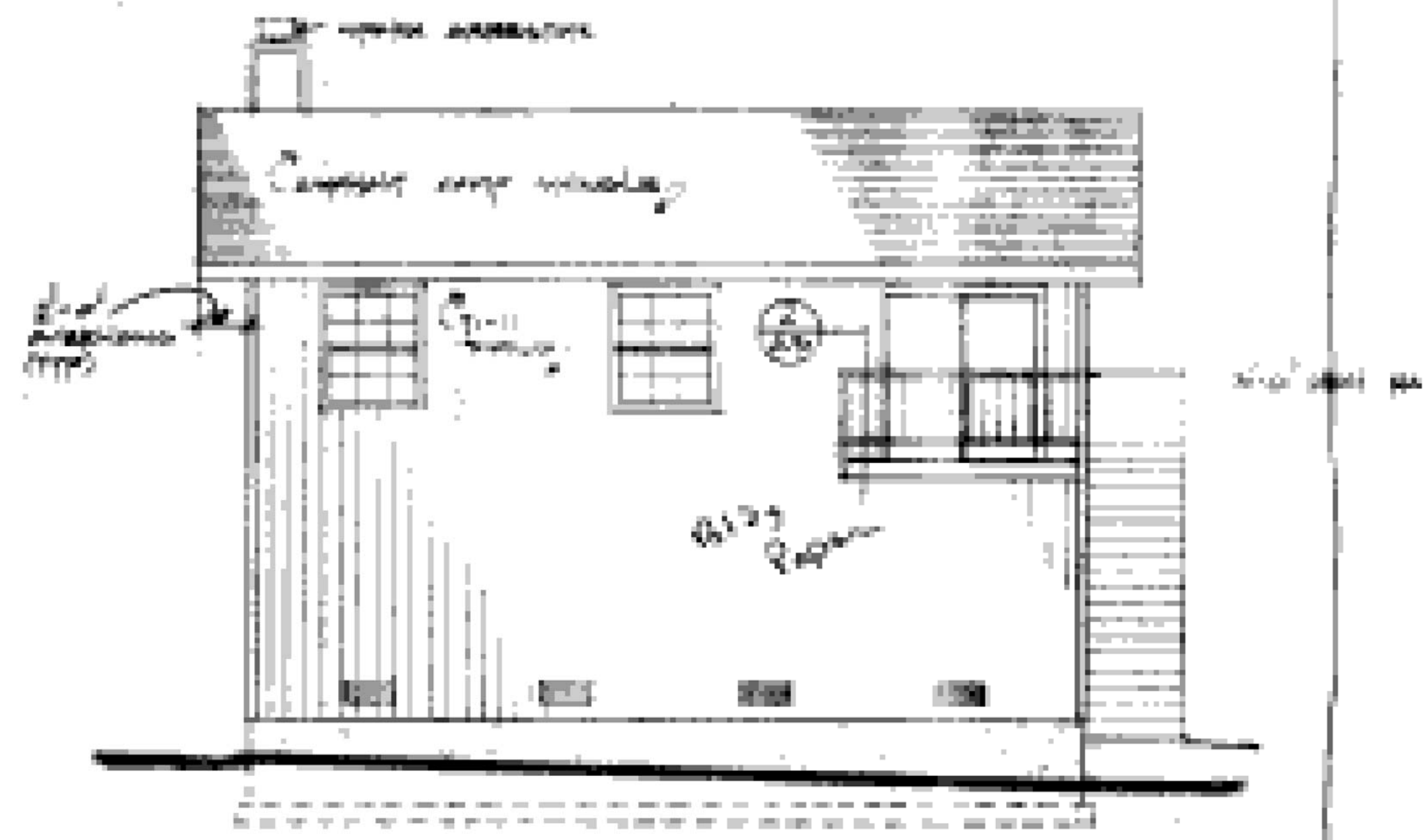
FRONT ELEVATION



RIGHT ELEVATION



LEFT ELEVATION



REAR ELEVATION

EXISTING ELEVATIONS
SCALE: 1/4"=1'-0"

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AB.2

OF 6 SHEETS